



## THURRALILLY STREET - STREET PERSPECTIVE - MANOR HOME



**SUBJECT SITE**  
24 Thurrallilly St,  
QUEANBEYAN EAST

**LOCATION PLAN** scale 1:2000

## DETAIL NOTES

01. These details do not provide a full and comprehensive set of details for the whole project.
02. These details demonstrate the anticipated level of detail for the project and the types of trims and junctions that are proposed, including the requirement for flush finishing door sills.
03. The contractor is to allow for achieving the same level of detail for details currently not shown.
04. The architect may provide additional details as and when they are required to clarify expectations. Details provided in response to requests for information (r.f.i.'s) are provided to assist the builder in finishing the project in a manner consistent with the details shown at tender.
05. The contractor is to allow for trims, seals and finishing without unsightly gaps throughout the project that are consistent with the contract documents. The absence of a particular detail at the time of tender is not in and of itself evidence that a trim or form of finishing could not have been anticipated. The owner is entitled to anticipate that the tender price allows for finishing the project in a satisfactory manner consistent with the documents issued for tender.
06. Drawings to be printed at A1 and viewed in colour.

PROPOSED DEVELOPMENT DATA					
ADDRESS	24 Thurrallilly Street, Queanbeyan East				
SITE AREA	689 m2				
EXISTING LOT NUMBER	17/-/DP222494				
LAND ZONING	QPRLEP (2022) - R3 Multi unit housing/Low Density Residential				
TYPE OF DWELLING	Manor House				
DWELLING AREAS	Number	Area (m2)	POS (m2)		
	A - 1 bedroom	62.0		47	
	B - 2 bedroom	92.5		34	
	C - 1 bedroom	80.4		160	
STATE AND LOCAL PLANNING GUIDELINES					COMPLIANT?
SITE COVERAGE	QDCP (2012) PART 3C	MAXIMUM SITE COVERAGE**	PROPOSED COVERAGE	PROPOSED	
		40%	201.3	29.22%	YES
FSR	SEPP (Housing) 2021				
		0.65:1		0.33:1	YES
MINIMUM BUILDING WIDTH AT BUILDING LINE		PERMITTED	SITE WIDTH		
	QDCP (2012) PART 3C	18m	19.85m		YES
BUILDING HEIGHT		PERMITTED	PROPOSED		
	SEPP (Housing) 2021	11m	8.03m		YES
	QPRLEP (2022)				
		8.5m	8.03m		YES
SETBACKS	QDCP (2012) PART 3C	FRONT	SECONDARY	SIDE/REAR	
	LVL00	6.0m	3m	3m	SIDE NON COMPLIANT
	LVL01	6.0m	3.5m	3.5m	SIDE NON COMPLIANT
CAR PARKING	SEPP (Housing) 2021	3 dwellings (1-2 bedrooms), non accessible area: 2.5 spaces			YES
SOLAR ACCESS	QDCP (2012) PART 3C	e) Minimum of 50% of the POS area for at least 80% of all dwellings must receive a minimum of 3 hours direct sunlight between 9.00am and 3.00pm in winter solstice. f) Living rooms for at least 80% of all dwellings, must receive a min. of 3 hours direct sunlight hitting their primary window surfaces between 9.00am and 3.00pm at winter solstice			YES
	SEPP (Housing) 2021 - LAHC Design req.	70% of units to receive 2 hours			YES
FENCING	QDCP (2012) PART 3C	1.8m max high fencing to screen POS areas. Top 30% of the fencing must be semi open and landscaping is incorporated into the fence or wall design to provide vegetation screening for a minimum of 50% of its length			YES
		Front fencing to be 1.2m high maximum			YES
POS	QDCP (2012) PART 3C	DWELLINGS AT GROUND LEVEL			
		a) One part of the POS must have a minimum area of 25m2, including a minimum width of 4m			YES
		b) The POS must be directly accessible from a living area of the dwelling, and have a northerly aspect			YES
		c) Screening provided where necessary to ensure privacy to users of the open space.			YES
		DWELLINGS ABOVE GROUND LEVEL			
		a) Balcony to have a minimum area of 12m2 with a minimum dimension of 2m			YES
SHARED OPEN SPACE	QDCP (2012) PART 3C	a) Total minimum area of 20% of the site area (including Private Open Space areas) is to be set aside for open space. Such area is to be landscaped and include the provision of facilities including outdoor seating and the like where appropriate. b) A minimum 25% of the ground level open space area of the site shall be a deep soil zone.			YES
ACCESS AND MOBILITY	QDCP (2012) PART 3C	Number of units is less than 5, therefore no requirement for adaptable dwelling			YES
WASTE BINS	QDCP (2012) PART 3C	up to 6 units - each units to have own waste, recycling and green waste bins			YES
DWELLING YIELD	SEPP (Housing) 2021	requirement: max 75 dwellings		proposed: 3 dwellings	YES
APARTMENT SIZE AND LAYOUT	SEPP (Housing) 2021 - LAHC Design req.	DWELLING TYPE	MINIMUM INTERNAL AREA	PROPOSED	
		1 BED	50m2	62, 80.4	YES
		2 BED	70m2	92.5	YES
POS	SEPP (Housing) 2021 - LAHC Design req.	requirement: 15m2	proposed: see dwelling areas above		YES

## DRAWING LIST

**DRAWING NO.      DRAWING NAME**

DA-000 COVER PAGE  
DA-001 BLOCK ANALYSIS PLAN  
DA-002 BASIX COMMITMENTS AND AREA COUNTS  
DA-100 SITE ANALYSIS  
DA-101 DEMOLITION PLAN  
DA-102 SITE PLAN  
DA-200 SRZ & TPZ - EXTERNAL WORKS  
DA-201 GENERAL ARRANGEMENT - EXTERNAL WORKS  
DA-202 GENERAL ARRANGEMENT - LEVEL 00  
DA-203 GENERAL ARRANGEMENT - LEVEL 01  
DA-204 GENERAL ARRANGEMENT - ROOF LEVEL  
DA-210 ACCESS ZONE - LEVEL 00  
DA-211 ACCESS ZONE - LEVEL 01  
DA-212 CUT & FILL RETAINING WALL PLAN  
DA-213 SOLAR ACCESS STUDY 1  
DA-214 SOLAR ACCESS STUDY 2  
DA-300 ELEVATIONS - SHEET 01  
DA-301 ELEVATIONS - SHEET 02  
DA-400 SECTIONS - SHEET 01  
DA-401 SECTIONS - SHEET 02  
DA-410 3D VIEWS  
DA-411 3D VIEWS HEIGHT PLANE

 	NOMINATED ARCHITECT:					PROJECT ARCHITECT	ACCESS CONSULTANT	BASIC CONSULTANT	PROJECT:	TITLE: <b>COVER PAGE</b>  FILE: 2071 - DA 01 PLANS MASTER.vwx	STATUS PART 5 APPLICATION			
	anthony nolan 6773					KENNEDY ASSOCIATES ARCHITECTS	VISTA ACCESS ARCHITECTS	10 STAR BUILDING ASSESSMENTS	<b>MANOR HOUSE</b>		24 Thurrallilly Street QUEANBEYAN EAST - Lot 17 DP 222494 089m2 17/-DP222494	SCALE:	PROJ:	PROJECT NO.
						PH (02) 9557 6466		0481 010 999	at			NTS	BGWQ3	BGWQ3
	A 22/03/24 PART 5 APPLICATION											DRAWN:	CHECKED:	APPROVED:
	REV DATE NOTATION/AMENDMENT					PROJECT MANAGER	ARBORIST	SERVICES CONSULTANTS				DA	TYPE:	SHEET:
		DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				HOMES NSW	TREE WORKS 1800 873 343	MARLINE BUILDING SERVICES ENGINEERS 02 4925 9300			AR	DA-000	A	





LEGEND

- subject site
- single dwelling residence block pattern
- emerging block pattern mainly multidwelling/ duplex dwellings
- commercial / industrial

SEIFFERT OVAL

10 STAR BUILDING ASSESSMENTS

Accreditation Period: 03/09/2023-03/09/2024

Assessor Name: Adam Clarke

Assessor Number: 101518

Assessor Signature: \_\_\_\_\_

ABSA

Assessment is completed within the accreditation period and level of the ABSA quality audit system.

Accreditation Period: 03/09/2023-03/09/2024

Assessor Name: Adam Clarke

Assessor Number: 101518

Assessor Signature: \_\_\_\_\_



NOMINATED ARCHITECT:  
anthony nolan 6773

REV	DATE	NOTATION/AMENDMENT
A	22/03/24	PART 5 APPLICATION
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

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KENNEDY ASSOCIATES ARCHITECTS  
PH (02) 9557 6466  
PROJECT MANAGER  
HOMES NSW

ACCESS CONSULTANT  
VISTA ACCESS ARCHITECTS  
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1800 873 343

BASIX CONSULTANT  
10 STAR BUILDING ASSESSMENTS  
0481 010 999  
SERVICES CONSULTANTS  
MARLINE BUILDING SERVICES  
ENGINEERS  
02 4602 9000

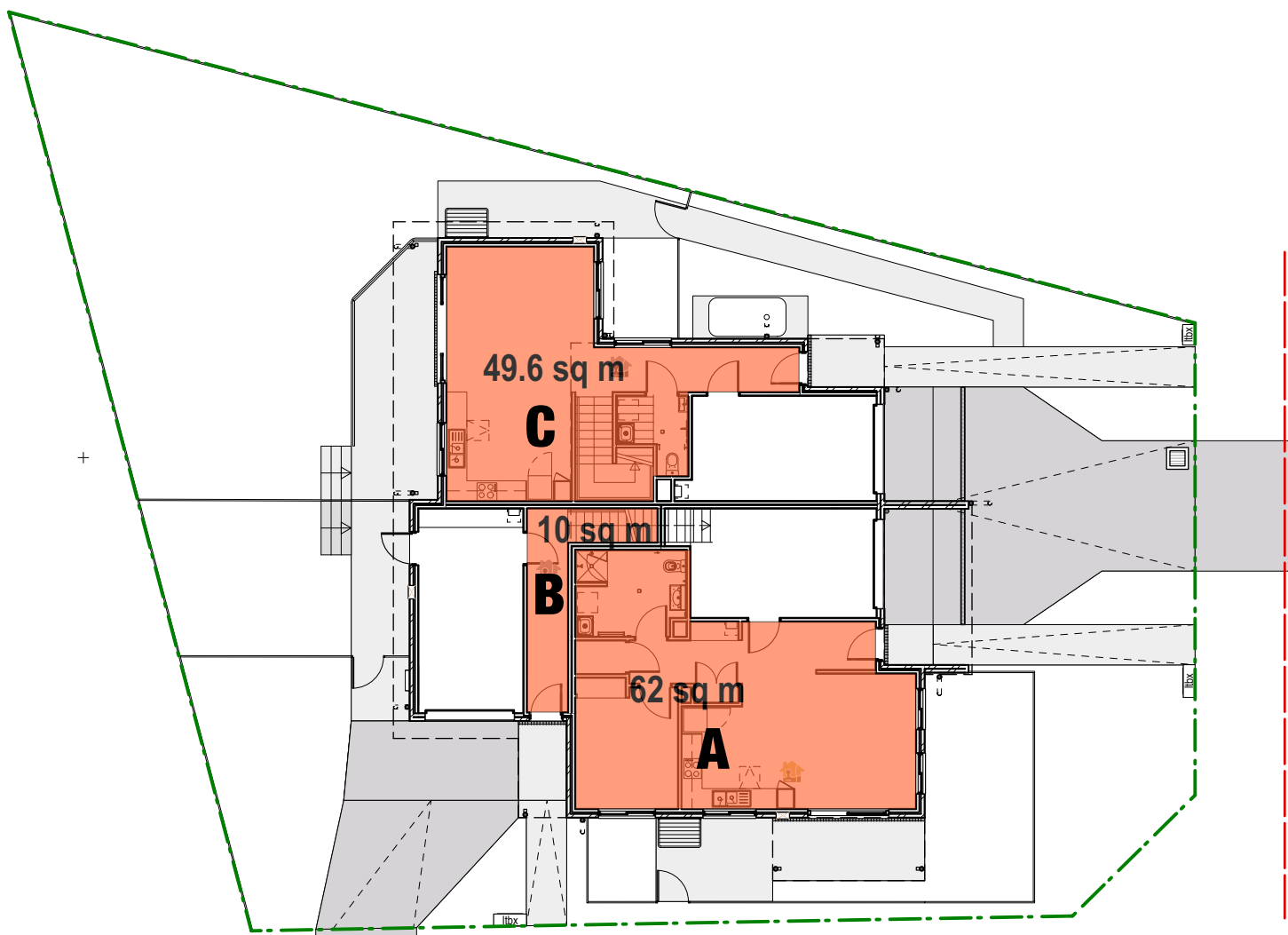
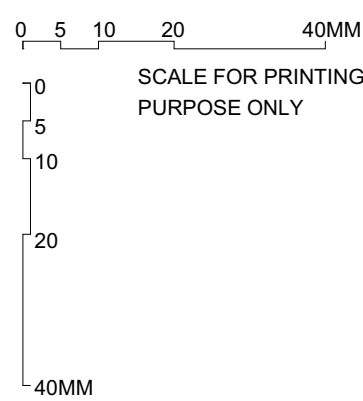
PROJECT:  
**MANOR HOUSE**  
at  
24 Thurralilly Street QUEANBEYAN EAST - Lot  
17 DP 222494  
689m2  
17/-DP222494

TITLE:  
**BLOCK ANALYSIS PLAN**

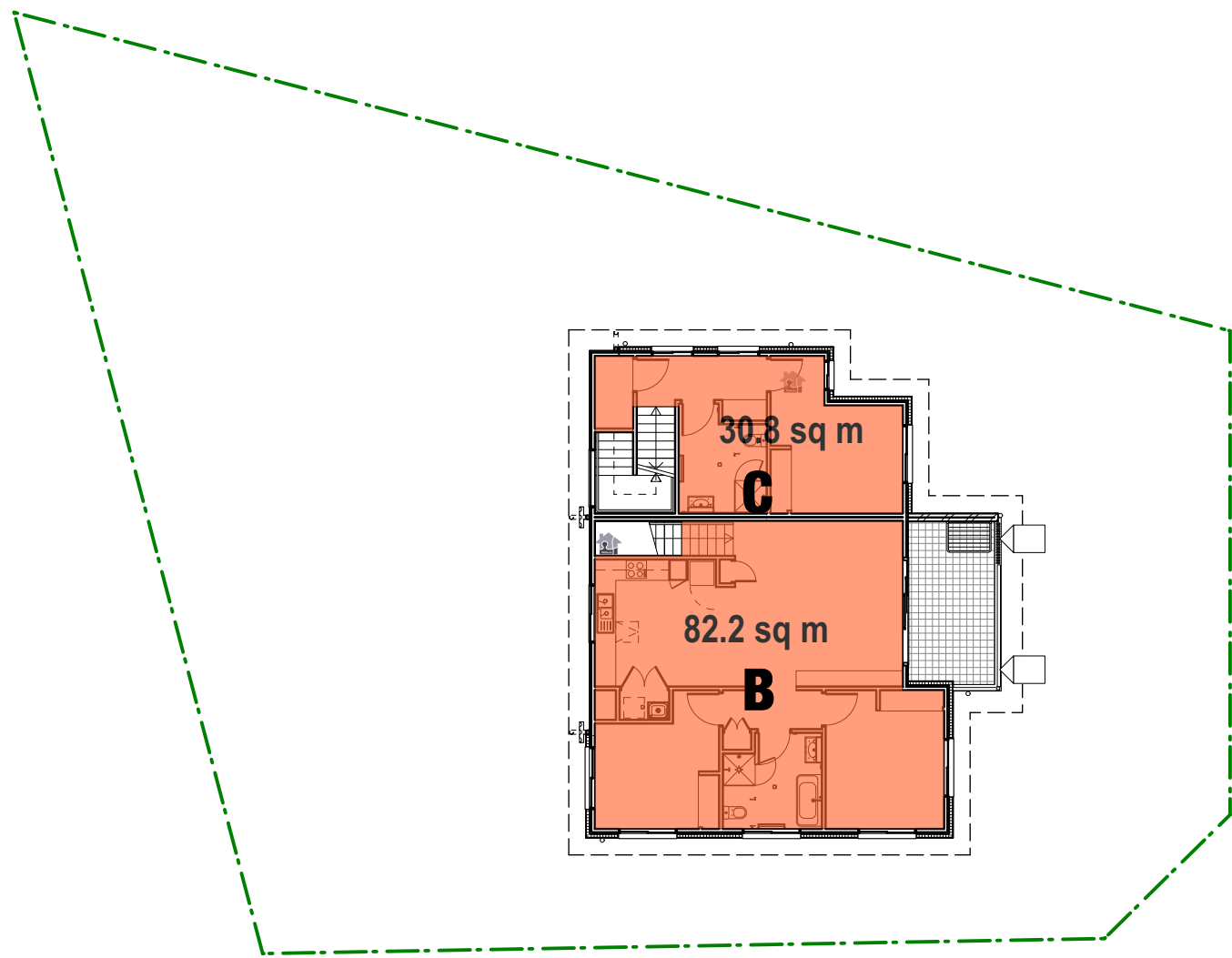
FILE:  
2071 - DA 01 PLANS MASTER.vwx

STATUS: PART 5 APPLICATION			
SCALE:	PROJ:	PROJECT No:	
1:500 @A1	BGWQ3	BGWQ3	
STAGE:	DRAWN:	CHECKED:	APPROVED:
DA	LP	AN	AN
TYPE:	SHEET:	REV:	
AR	DA-001	A	

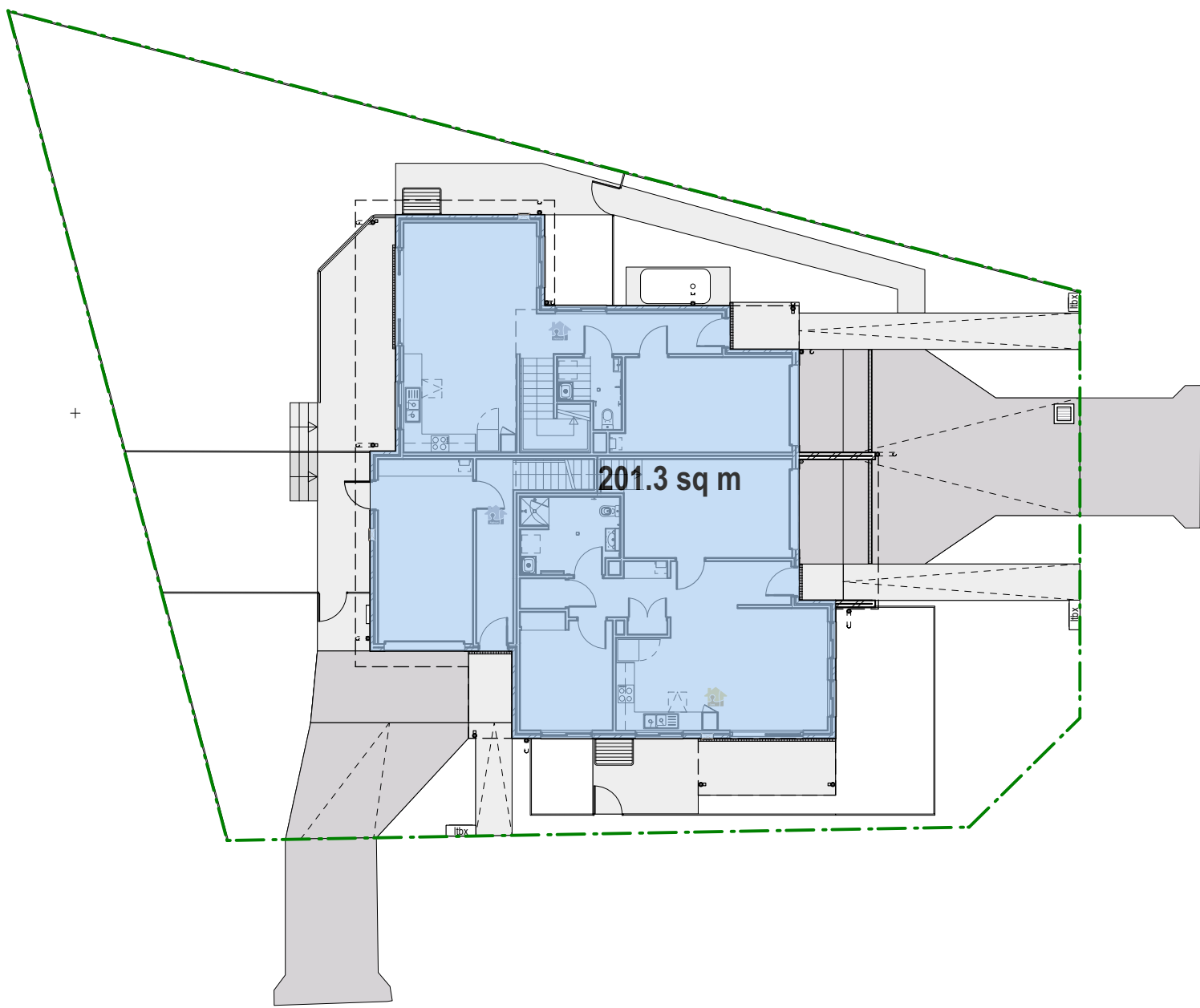




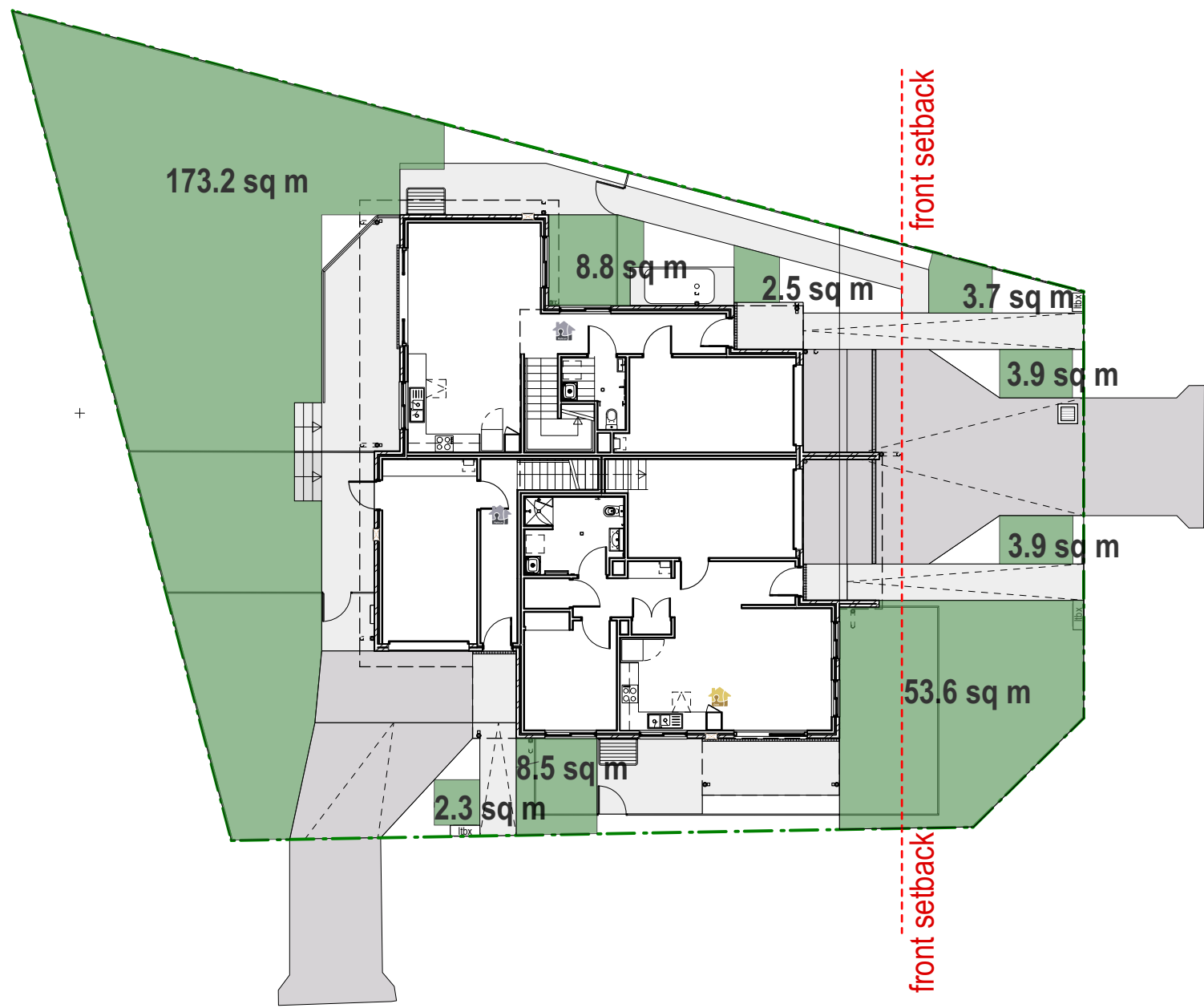
**DWELLING GROSS FLOOR AREA  
(GROUND FLOOR)**  
**(total area : 121.6m2)**



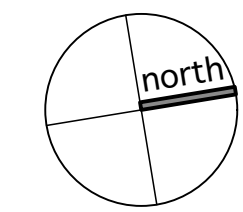
**DWELLING GROSS FLOOR AREA  
(FIRST FLOOR)**  
**(total area : 113m2)**



**SITE COVERAGE**  
**total area: 689m2**  
**29.2%**



**LANDSCAPED AREA - TOTAL**  
**(total area : 260.8m2)**



NOMINATED ARCHITECT:  
anthony nolan 6773

A 22/03/24 PART 5 APPLICATION  
REV DATE NOTATION/AMENDMENT  
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FIGURED DIMENSIONS TAKE PRECEDENCE.

PROJECT ARCHITECT  
KENNEDY ASSOCIATES ARCHITECTS  
PH (02) 9557 6466  
PROJECT MANAGER  
HOMES NSW

ACCESS CONSULTANT  
VISTA ACCESS ARCHITECTS  
ARBORIST  
TREE WORKS  
1800 873 343

BASIX CONSULTANT  
10 STAR BUILDING ASSESSMENTS  
0481 010 999  
SERVICES CONSULTANTS  
MARLINE BUILDING SERVICES  
ENGINEERS  
02 4602 9000

PROJECT:  
**MANOR HOUSE**  
at  
24 Thurralilly Street QUEANBEYAN EAST - Lot  
17 DP 222494  
689m2  
17/-DP222494

TITLE:  
**BASIX COMMITMENTS AND AREA  
COUNTS**

FILE:  
2071 - DA 01 PLANS MASTER.vrx

STATUS:  
**PART 5 APPLICATION**  
SCALE: 1:200 @A1  
PROJECT: BGWQ3  
PROJECT NO: BGWQ3  
STAGE: DA  
DRAWN: LP  
CHECKED: AN  
APPROVED: AN  
TYPE: AR  
SHEET: DA-002  
REV: A

BASIX PLAN REQUIREMENTS - 400.0 ESD-NAT-BAX-131123-THURALILLY 24 Nov 2023

#### PROJECT DETAILS

##### PROJECT DETAILS

ADDRESS	LOT AND DP #	DWELLING TYPE
24 Thurralilly Street, QUEANBEYAN EAST, 2620	LOT 1DP 222494	CLASS 2

#### WATER REQUIREMENTS

##### DWELLINGS

TOILET	SHOWER	KITCHEN TAPS	BATH TAPS	Clothes Dryer	Dishwasher
4 STAR	4 STAR	4 STAR	4 STAR	3.5 STAR	3.5 STAR

##### COMMON AREA RAIN WATER TANKS

LTRS	COLLECTION AREAS	SUPPLIED AREAS
MIN 3500 LTR	ALL OF ROOF AREA DIVERTED TO TANK	TOILETS, LDYR, OUTDOOR TAP

#### ENERGY REQUIREMENTS

##### HWS

TYPE	ENERGY RATING	OTHER REQUIREMENTS
HEAT PUMP	21-25 STC	

##### VENTILATION

AREA	OPERATION TYPE
BATHROOMS / WC	DUCTED TO FACADE OR ROOF - MANUAL SWITCH ON / OFF
KITCHENS	DUCTED TO FACADE OR ROOF - INTERGRATED TO LIGHT
LDYR	DUCTED TO FACADE OR ROOF - MANUAL SWITCH ON / OFF

##### HEATING AND COOLING

AREA	SYSTEM	ENERGY EFFICIENCY	ZONED
LIVING (HEATING AND COOLING)	1 PHASE AIR CON	COOLING 2.5 STAR - HEATING 3.5 STAR	NO
BEDROOMS	NO ACTIVE HEATING OR COOLING SYSTEM		
CEILING FANS	SEE NATHERS REQUIREMENTS		

##### DWELLING LIGHTING

TYPE	AREAS
LED OR FLUORESCENT LIGHT FITTINGS	ALL OF DWELLING
	The following areas will be primarily lit (minimum 80% of light fittings) by compact fluorescent, fluorescent, or LED lamps

OVEN / C TOP	FRIDGE	DISHWASHER	WASHING MACHINE	Clothes Dryer	Other Information
ELECTRIC COOKTOP / ELECTRIC OVEN		3.5 STAR RATING		3.5 STAR RATING	

##### MISC

CLOTHES LINE	UNDERCOVER CLOTHES LINE	VENTILATED FRIDGE SPACE
OUTDOOR LINE REQUIRED PER UNIT	NOT REQUIRED	OPTIONAL

##### ALTERNATIVE ENERGY

SOLAR PHOTOVOLTAIC SIZE	OTHER INFORMATION
MIN 3 KW SOLAR PV SYSTEM TO BE INSTALLED	

NATHERS REQUIREMENTS PLAN STAMP - 400.0 ESD-NAT-BAX-131123-THURALILLY 24 Nov 2023

NATHERS requirements set out below are part of the requirements to achieve final occupation certification.

Any items that are changed or altered require a new NATHERS certificate to be issued.

Compliance with this is required to be demonstrated upon completion to the certifying authority. The Certifier must confirm that these commitments have been installed and not altered.

#### PROJECT DETAILS

ADDRESS	SUBURB / TOWN / POST CODE	LOT # DP#
24 Thurralilly Street	QUEANBEYAN EAST	LOT 1DP 222494

##### ENERGY RATING

STAR RATING	DWELLING #	HEATING LOAD	COOLING LOADS
6.2	DWELLING A	136.6	14.4
5.3	DWELLING B	161.4	25.1
5.1	DWELLING C	197.8	16.0

#### FLOORS

FLOOR TYPE	ADDITIONAL INSULATION	OTHER INFORMATION
CONCRETE SLAB ON GROUND	R2.50 XPS EXTRUDED POLYSTYRENE	DWELLING B AND C
CONCRETE SLAB ON GROUND	R1.0 XPS EXTRUDED POLYSTYRENE	DWELLING A
SUSPENDED TIMBER FLOOR - LINED UNDER	R2.50	FLOOR BETWEEN LEVELS OR DWELLINGS

#### FLOOR COVERINGS

AREA	COVERING	OTHER INFORMATION
GARAGE	CONCRETE EXPOSED	
WET AREAS	TILE	
BEDROOMS	CARPET	
ALL OTHER AREAS	TILE	

#### WALL INSULATION

INTERNAL / EXTERNAL	WALL TYPE	ADDITIONAL INSULATION	OTHER INFORMATION
EXTERNAL	BRICK VENEER, REFLECTIVE POIL	R2.70	
EXTERNAL	FC SHEET - (ASSUMED DIRECT FIXED)	R2.70	
INTERNAL	PARTI WALL - CSR2405	R2.0 + R2.0	
INTERNAL	PB	R4.0	WALLS TO ROOF SPACES
INTERNAL	PB	R2.0	DWELLING A - B - WALLS ADJACENT GARAGE, DWL B BATH
INTERNAL	PB	R2.50	DWELLING C - WALLS ADJACENT GARAGE AND STORE

ROOF CONSTRUCTION TYPE	INSULATION	OTHER INFORMATION
METAL ROOF	R1.30 ANTICON BLANKET	

SOLAR ABSORPTANCE

SHALE GREY

CEILING TYPE	INSULATION	OTHER INFORMATION
EXTERNAL CEILINGS	R6.0	

#### WINDOWS AND GLAZING

WINDOW DESCRIPTION	FRAME TYPE	U VALUE	SHGC
SLIDING DOOR (DA-D03, )	ALM - SG - LOWE - CLEAR	4.37	0.59
SLIDING WINDOW (DWELLING A)	ALM - SG - CLEAR	6.38	0.72
SLIDING DOOR (DWELLING B, C)	ALM - DG - LOWE - CLEAR	3.45	0.55
SLIDING WINDOW (DWELLING B, C)	ALM - DG - LOWE - CLEAR	3.20	0.57

SOLAR ABSORPTANCE (MEDIUM 0.475-0.70)

#### CEILING FANS - EXHAUST FANS

AREA	TYPE	SIZE
BEDROOMS	CEILING FAN	900 DIA MIN
LIVING AREAS	CEILING FAN	1200 DIA MIN
BATHROOMS, LDYR, KITCHEN	EXHAUST FAN	MAX 250 X 250 PENETRATION (SEALED)
BATHROOMS, LDYR, KITCHEN	EXHAUST FAN	MAX 250 X 250 PENETRATION (SEALED AND INSULATED)

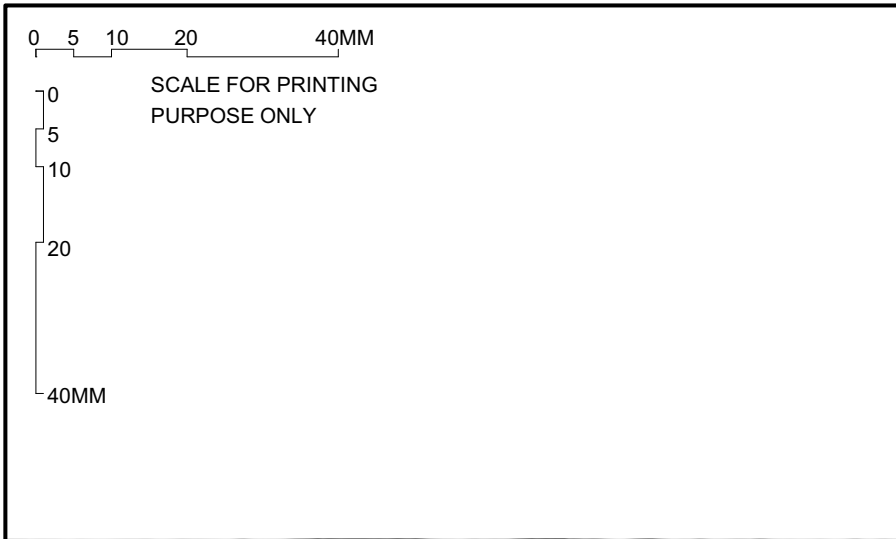
#### LIGHTING

DESCRIPTION	OTHER INFORMATION
NOT LIGHTING PLANS PROVIDED - NATHERS DEFAULT	RECESSED DOWNLIGHTS (SEALED)
SETTING USED	RECESSED DOWNLIGHTS FOR DWELLING C
RECESSED DOWNLIGHTS FOR DWELLING C	RECESSED DOWNLIGHTS (SEALED AND INSULATED)

OTHER INFORMATION FLOOR BETWEEN S.O.U MUST COMPLY WITH NCC REQUIREMENTS FOR SOUND AND FIRE INSULATION

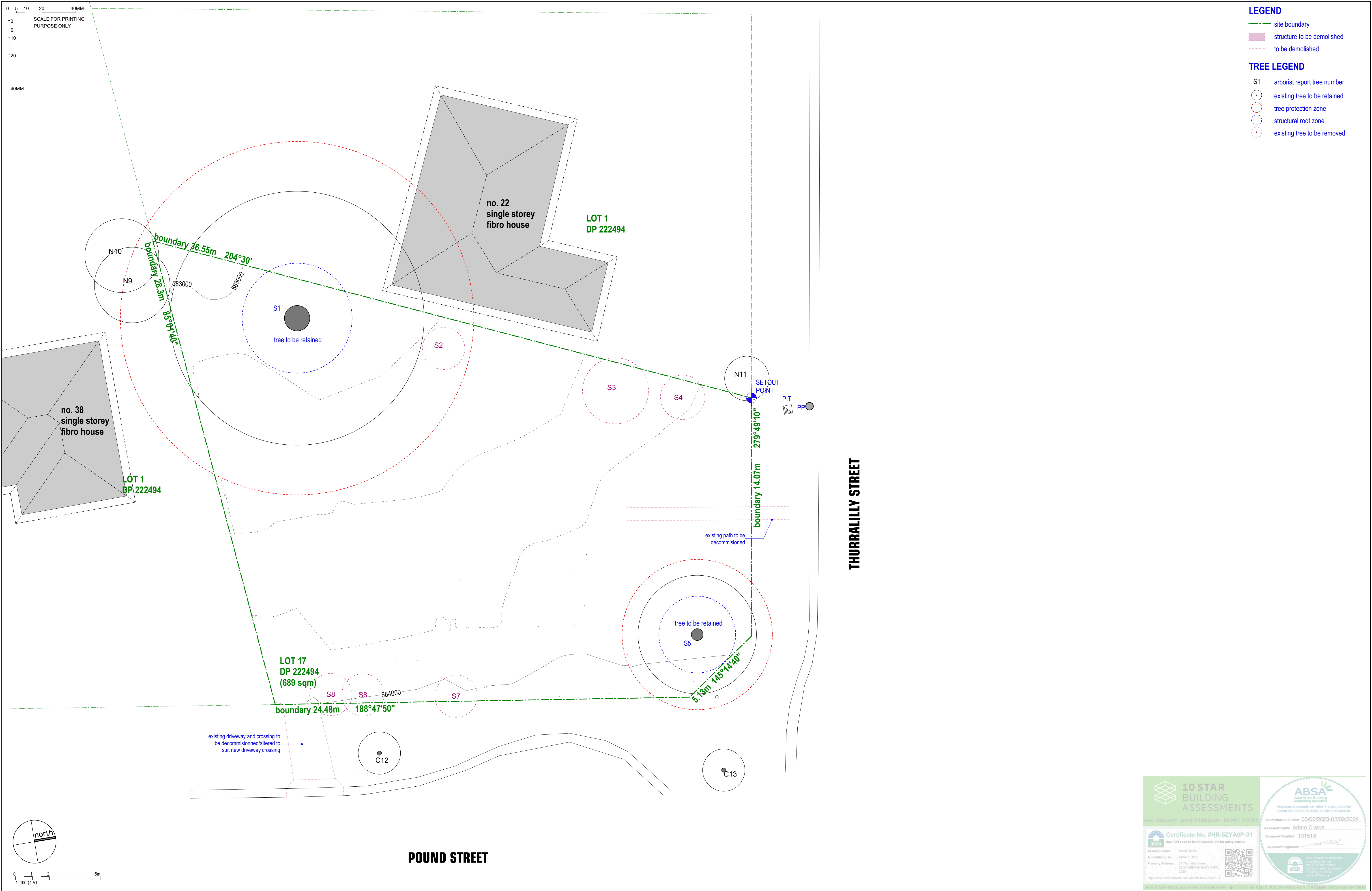






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									at		
						PH (02) 9557 6466		0481 010 999	24 Thurralilly Street QUEANBEYAN EAST - Lot 17 DP 222494		
									689m2		
	A	22/03/24	PART 5 APPLICATION			PROJECT MANAGER	ARBORIST	SERVICES CONSULTANTS		FILE:	
	REV	DATE	NOTATION/AMENDMENT			HOMES NSW	TREE WORKS	MARLINE BUILDING SERVICES		2071 - DA 01 PLANS MASTER.vrx	
	DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.						1800 873 343	ENGINEERS	17/-DP222494		
							02 4625 9300				





- LEGEND**
- site boundary
  - structure to be demolished
  - to be demolished
- TREE LEGEND**
- S1 arborist report tree number
  - existing tree to be retained
  - tree protection zone
  - structural root zone
  - existing tree to be removed

10 STAR BUILDING ASSESSMENTS

www.10star.com admin@10star.com M: 0481 010 999

Scan QR code or follow website link for rating details.

Assessor Name: Adam Clarke  
Accreditation No.: ABQA 101518  
Property Address: 24 Thurrailly Street, QUEANBEYAN EAST, NSW, 2025  
http://www.bepco-software.com.au/pdf/HR-5ZYA0P-01

ABSA  
Australian Building Sustainability Association


Assessments completed within the accreditation period are part of the ABQA quality audit system.

Accreditation Period: 03/09/2023-03/09/2024

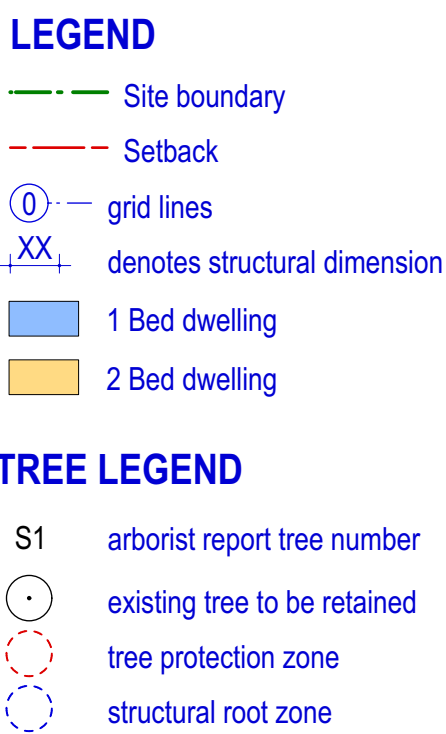
Assessment Name: Adam Clarke  
Assessment Number: 101518

Assessor Signature: \_\_\_\_\_

This Accredited Assessor is qualified to use Bepco's proprietary software and has agreed to comply with ABQA Code of Practice.

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	anthony nolan 6773				KENNEDY ASSOCIATES ARCHITECTS	VISTA ACCESS ARCHITECTS	10 STAR BUILDING ASSESSMENTS	<b>MANOR HOUSE</b>	<b>DEMOLITION PLAN</b>	
								at		
					PH (02) 9557 6466		0481 010 999	24 Thurrailly Street QUEANBEYAN EAST - Lot 17 DP 222494		
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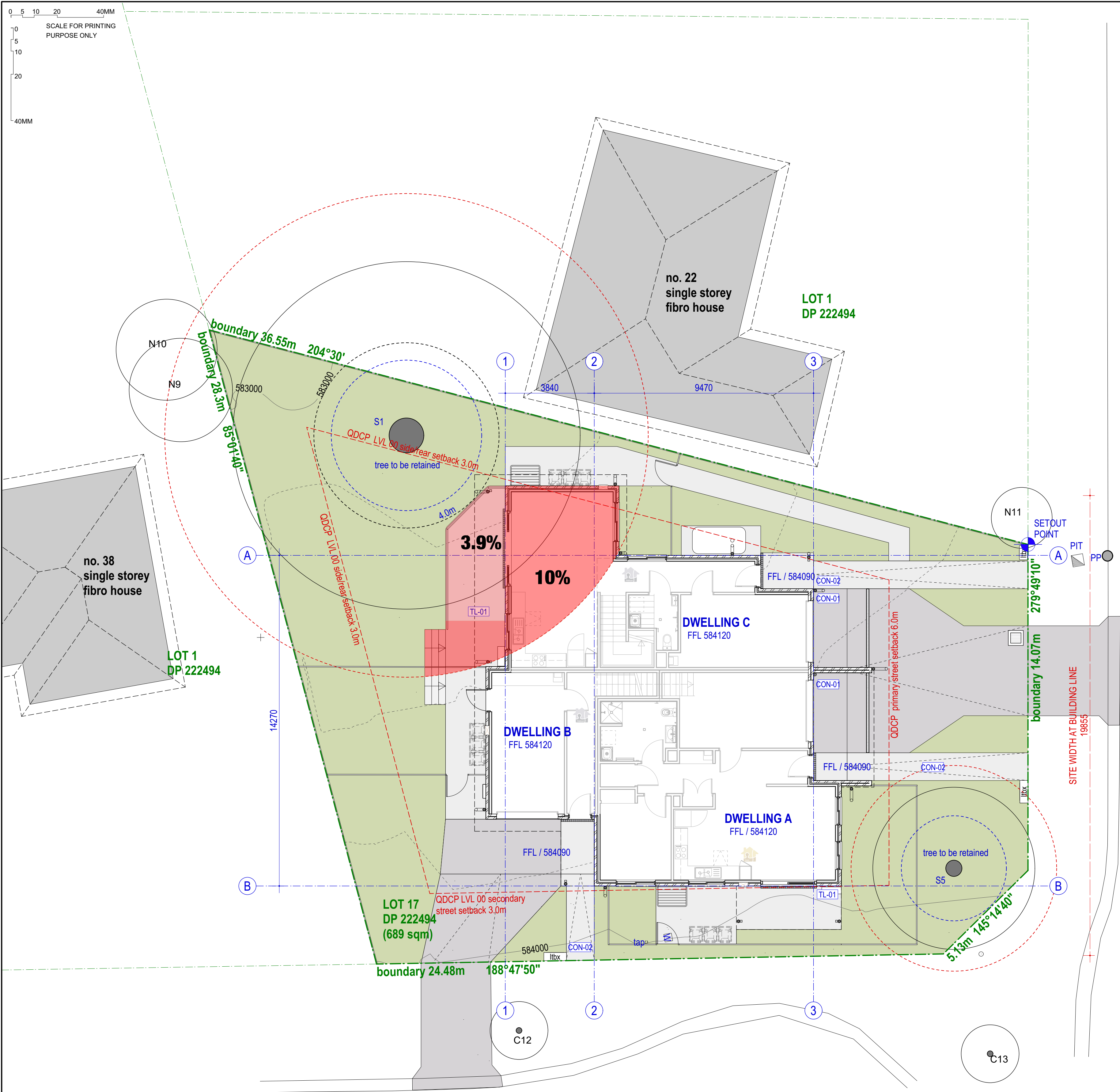




- do not scale off drawings.
- these drawings are to be read in conjunction with specifications, schedules and other consultants' documentation.
- refer to landscape architect's documentation for all external works details including planting, hard paving, fences, screens + gates.
- refer to civil engineer's drawings for all levels to be provided. any discrepancies to be referred to the architect for clarification.

[illegible]





- LEGEND**
- Site boundary
  - Setback
  - grid lines
  - denotes structural dimension
  - driveway / carparking
  - private / common paved area
  - common landscaped area

- ABBREVIATION LEGEND**
- PP power pole
  - LTBX letter box
  - PIT comms pit
  - W water meter

- TREE LEGEND**
- S1 arborist report tree number
  - existing tree to be retained
  - tree protection zone
  - structural root zone
  - encroachment zone

- NOTES**
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**10 STAR BUILDING ASSESSMENTS**

www.10star.com admin@10star.com M: 0481 010 999

Scan QR code or follow website link for rating details.

**Certificate No. #HR-5ZYA0P-01**

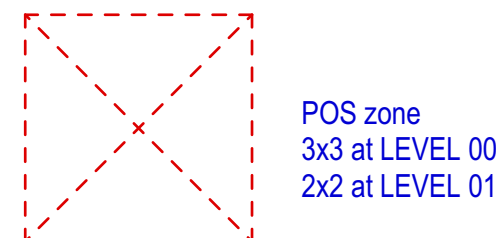
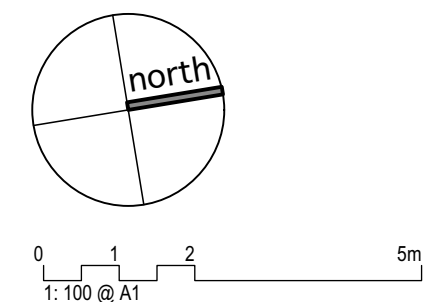
Assessor Name: Adam Clarke  
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Assessment Period: 03/09/2023-03/09/2024  
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*Assessments completed within the accreditation period as part of the ABSA quality audit system*

www.10star.com    admin@10star.com    M: 0481 010 999

Accreditation Period: 03/09/2023-03/09/2024



**Certificate Code #HR-5Y2A0P-01**

Scan QR code or follow website link for rating details.

Assessor Name: **Adam Clarke**

Assessment Number: **101518**


Assessor's Signature: \_\_\_\_\_

Assessor name: Adam Clarke


Accreditation No: ABSA 101518

Property Address: 24 Thrumsly Street,  
QUEANBEYAN EAST, NSW,  
4020

Visit [www.hold-audit.com.au/HR-5Y2A0P-01](http://www.hold-audit.com.au/HR-5Y2A0P-01)

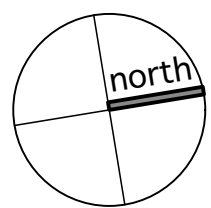


This Accredited Assessor is qualified to use HERSITE Accredited Software and has agreed to follow the ABSA Code of Practice



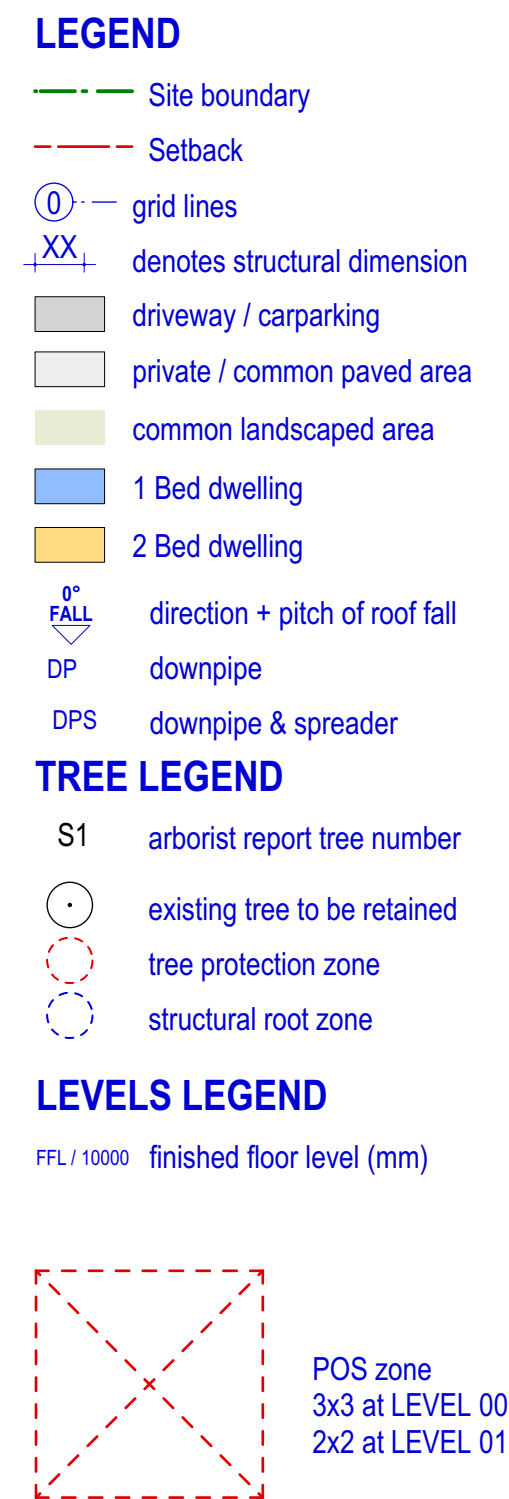
<div> NSW GOVERNMENT</div> <div> Homes NSW</div>	NOMINATED ARCHITECT:		PROJECT:		ACCESS CONSULTANT		BASIX CONSULTANT		PROJECT:		TITLE:	
	anthony nolan 6773		KENNEDY ASSOCIATES ARCHITECTS		VISTA ACCESS ARCHITECTS		10 STAR BUILDING ASSESSMENTS		MANOR HOUSE at		GENERAL ARRANGEMENT - EXTERNAL WORKS	
			PH (02) 9557 6466				0481 010 999		24 Thrurallilly Street QUEANBEYAN EAST - Lot 17 DP 222494		SCALE: 1:100 @A1	
	A 07/05/24 PART 5 APPLICATION								989m2		PROJECT NO: BGWQ3	
	REV DATE NOTATION/AMENDMENT		PROJECT MANAGER		ANB0RIST		SERVICES CONSULTANTS		SHEET:		CHECKED: AN	
			HOMES NSW		TREE WORKS		MARLINE BUILDING SERVICES ENGINEERS		17/-/DP222494		APPROVED: AN	
			DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		1800 873 343		02 4925 9300				TYPE: AR	
										DA-201		
										A		
										FILE: 2071 - DA 01 PLANS MASTER.vwx		






NOMINATED ARCHITECT:			PROJECT ARCHITECT KENNEDY ASSOCIATES ARCHITECTS		ACCESS CONSULTANT VISTA ACCESS ARCHITECTS		BASIX CONSULTANT 10 STAR BUILDING ASSESSMENTS		PROJECT: <b>MANOR HOUSE</b> at 24 Thurrallilly Street QUEANBEYAN EAST - Lot 17 DP 222494			TITLE: <b>GENERAL ARRANGEMENT - LEVEL 00</b>			STATUS <b>PART 5 APPLICATION</b>		
anthony nolan 6773			PH (02) 9557 6466		0481 010 999				24 Thurrallilly Street QUEANBEYAN EAST - Lot 17 DP 222494								
A 07/05/24 PART 5 APPLICATION			PROJECT MANAGER HOMES NSW		ARBORIST TREE WORKS 1800 873 343		SERVICES CONSULTANTS MARLINE BUILDING SERVICES ENGINEERS 02 4925 9300		171/-DP222494			FILE: 2071 - DA 01 PLANS MASTER.vwx			SCALE: 1:100 @A1		
REV DATE NOTATION/AMENDMENT DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.												STAGE: DA			PROJECT NO: BGWQ3		
												DRAWN: LP			CHECKED: AN		
												TYPE: AR			APPROVED: AN		
												SHEET: DA-202			REV: A		





- ## NOTES
1. do not scale off drawings.
  2. these drawings are to be read in conjunction with specifications, schedules and other consultants' documentation.
  3. refer to landscape architect's documentation for all external works details including planting, hard paving, fences, screens + gates.
  4. refer to civil engineer's drawings for all levels to be provided. any discrepancies to be referred to the architect for clarification.



# 10 STAR BUILDING ASSESSMENTS

www.10star.com admin@10star.com M: 0481 010 999


**ABSA**  
Australian Building  
Sustainability Association

Assessments completed within the accreditation period are part of the ABSA quality audit system


Accreditation period: 03/09/2023-03/09/2024

**Assessor Name: Adam Clarke**

**Assessor Number 101518**

**Assessor Signature** 

This Accredited Assessor is qualified to use electronic Accredited Software and will sign off using the ABSA Code of Practice

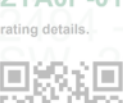


**Certificate No. #HR-5ZYAOP-01**

Scan QR code or follow website link for rating details

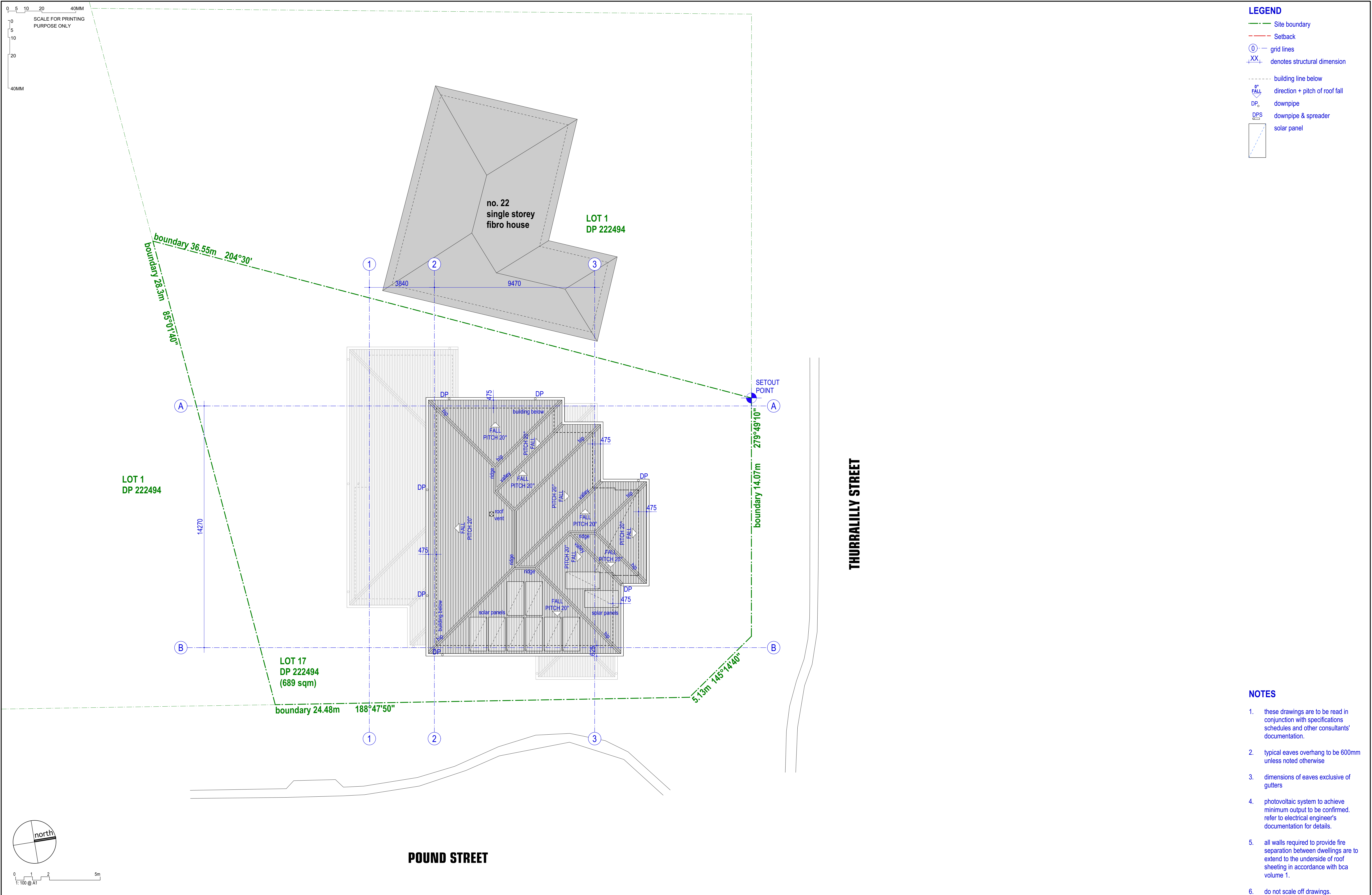
Assessor name	Adam Clarke
Accreditation No	ABSA 101518
Property Address	24 Thurston Street, 24 THURSTON YAN EAST, NSW, 2501

<http://www.ten-soft.com.au/assess/assessHR-5ZYAOP-01>



 		NOMINATED ARCHITECT:		PROJECT:		ACCESS CONSULTANT		BASIX CONSULTANT		PROJECT:		TITLE:	
anthony nolan 6773				KENNEDY ASSOCIATES ARCHITECTS		VISTA ACCESS ARCHITECTS		10 STAR BUILDING ASSESSMENTS		MANOR HOUSE at		GENERAL ARRANGEMENT - LEVEL 01	
				PH (02) 9557 6466				0481 010 999		24 Thrurallilly Street QUEANBEYAN EAST - Lot 17 DP 222494		PART 5 APPLICATION	
A		07/05/24		PART 5 APPLICATION		PROJECT MANAGER		ANB0RIST		SERVICES CONSULTANTS		SCALE:	
REV		DATE		NOTATION/AMENDMENT		HOMES NSW		TREE WORKS		MARLINE BUILDING SERVICES ENGINEERS		PROJ: BGWQ3	
				DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				1800 873 343		02 4925 9300		DRAWN: LP	
										02 4925 9300		CHECKED: AN	
										17/-/DP222494		APPROVED: AN	
										FILE: 2071 - DA 01 PLANS MASTER.vwx		TYPE: AR	
										SHEET: DA-203		REVISION: A	





**LEGEND**

- Site boundary
- Setback
- grid lines
- denotes structural dimension
- building line below
- direction + pitch of roof fall
- downpipe
- downpipe & spreader
- solar panel



- NOTES**
- these drawings are to be read in conjunction with specifications schedules and other consultants' documentation.
  - typical eaves overhang to be 600mm unless noted otherwise
  - dimensions of eaves exclusive of gutters
  - photovoltaic system to achieve minimum output to be confirmed. refer to electrical engineer's documentation for details.
  - all walls required to provide fire separation between dwellings are to extend to the underside of roof sheeting in accordance with bca volume 1.
  - do not scale off drawings.

		NOMINATED ARCHITECT:		PROJECT ARCHITECT		ACCESS CONSULTANT		BASIX CONSULTANT		PROJECT:		TITLE:		PART 5 APPLICATION	
anthony nolan 6773				KENNEDY ASSOCIATES ARCHITECTS		VISTA ACCESS ARCHITECTS		10 STAR BUILDING ASSESSMENTS		MANOR HOUSE		GENERAL ARRANGEMENT - ROOF LEVEL			
										at					
				PH (02) 9557 6466				0481 010 999		24 Thurralilly Street QUEANBEYAN EAST - Lot 17 DP 222494					
										689m2					
		A		07/05/24		PART 5 APPLICATION		PROJECT MANAGER		ARBORIST		SERVICES CONSULTANTS		17/-DP222494	
		REV		DATE		NOTATION/AMENDMENT		HOMES NSW		TREE WORKS		MARLINE BUILDING SERVICES ENGINEERS			
						DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				1800 873 343		02 4925 9300			

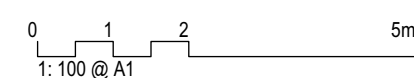






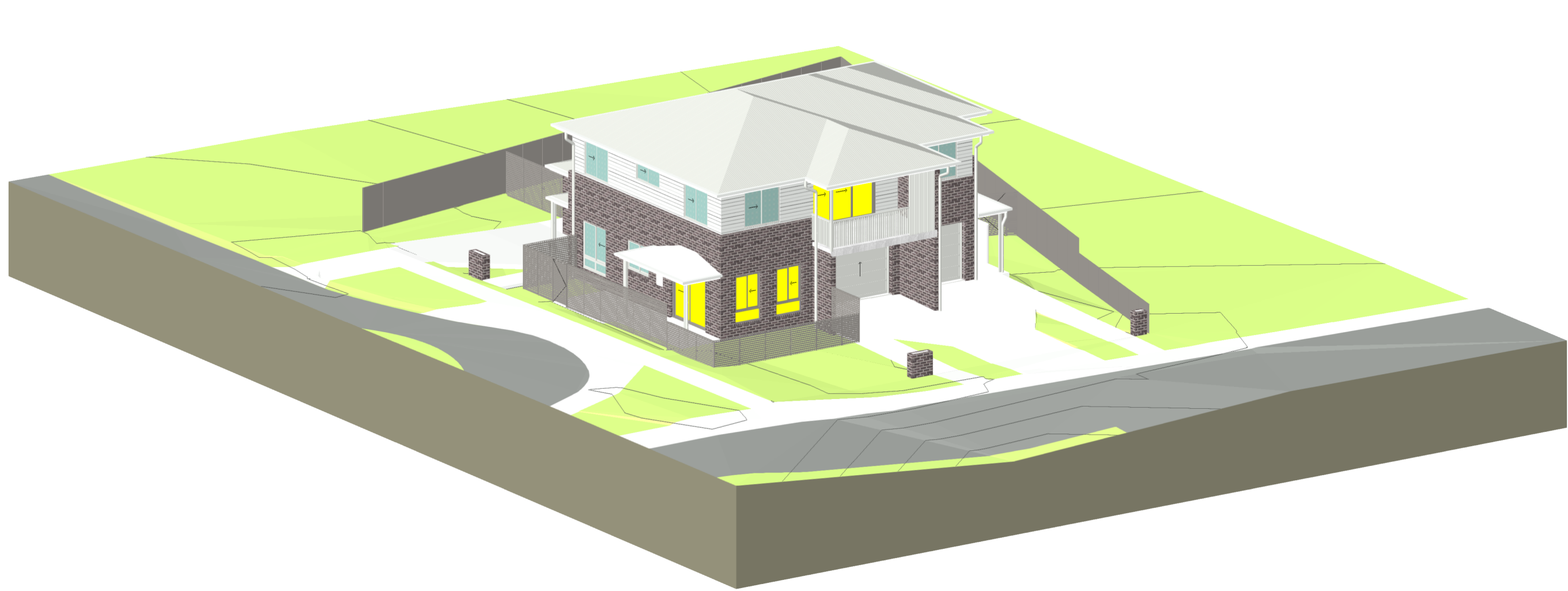
 <b>NSW</b> GOVERNMENT	 <b>Homes</b> <b>NSW</b>	NOMINATED ARCHITECT:		PROJECT ARCHITECT		ACCESS CONSULTANT		BASIX CONSULTANT		PROJECT:	
		anthony nolan    6773		KENNEDY ASSOCIATES ARCHITECTS		VISTA ACCESS ARCHITECTS		10 STAR BUILDING ASSESSMENTS		MANOR HOUSE	
				PH (02) 9557 6466		0481 010 999				at	
		A    24/4/2024    PART 5 APPLICATION		PROJECT MANAGER		ARBORIST		SERVICES CONSULTANTS		24 Thrallally Street QUEANBEYAN EAST - Lot	
		REV    DATE    NOTATION/AMENDMENT		HOMES NSW		TREE WORKS		MARLINE BUILDING SERVICES		17 DP 222494	
		DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		1800 873 343		02 4925 9300		0689m2		17/-/DP-222494	



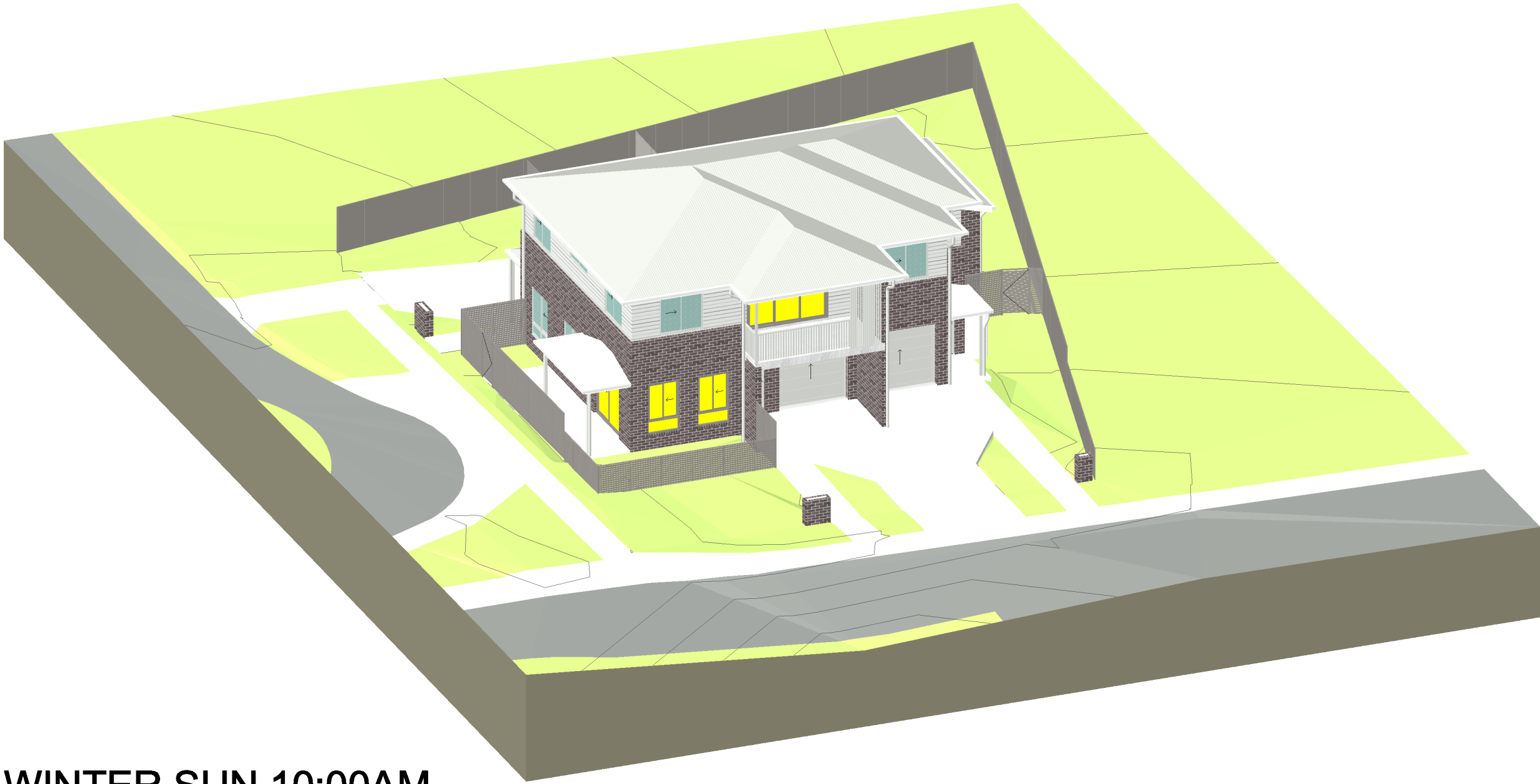


 	NOMINATED ARCHITECT:		PROJECT ARCHITECT		ACCESS CONSULTANT		BASIS CONSULTANT		PROJECT:		TITLE:	
	anthony nolan 6773		KENNEDY ASSOCIATES ARCHITECTS		VISTA ACCESS ARCHITECTS		10 STAR BUILDING ASSESSMENTS		MANOR HOUSE		CUT + FILL RETAINING WALL PLAN	
			PH (02) 9557 6466				0481 010 999		at			
	A 22/03/24 PART 5 APPLICATION		PROJECT MANAGER		ARBORIST		SERVICE'S CONSULTANTS		24 Thurralilly Street QUEANBEYAN EAST - Lot			
	REV DATE NOTATION/AMENDMENT		HOMES NSW		TREE WORKS		MARLINE BUILDING SERVICES ENGINEERS		77 DP 222494			
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.					1800 873 343		02 4925 9300		688m <sup>2</sup>		FILE: 2071 - DA 01 PLANS MASTER.vwx	
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											SCALE: 1:100 @A1	
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											CHECKED: AN	
											REV: A	
											TYPE: DA-212	

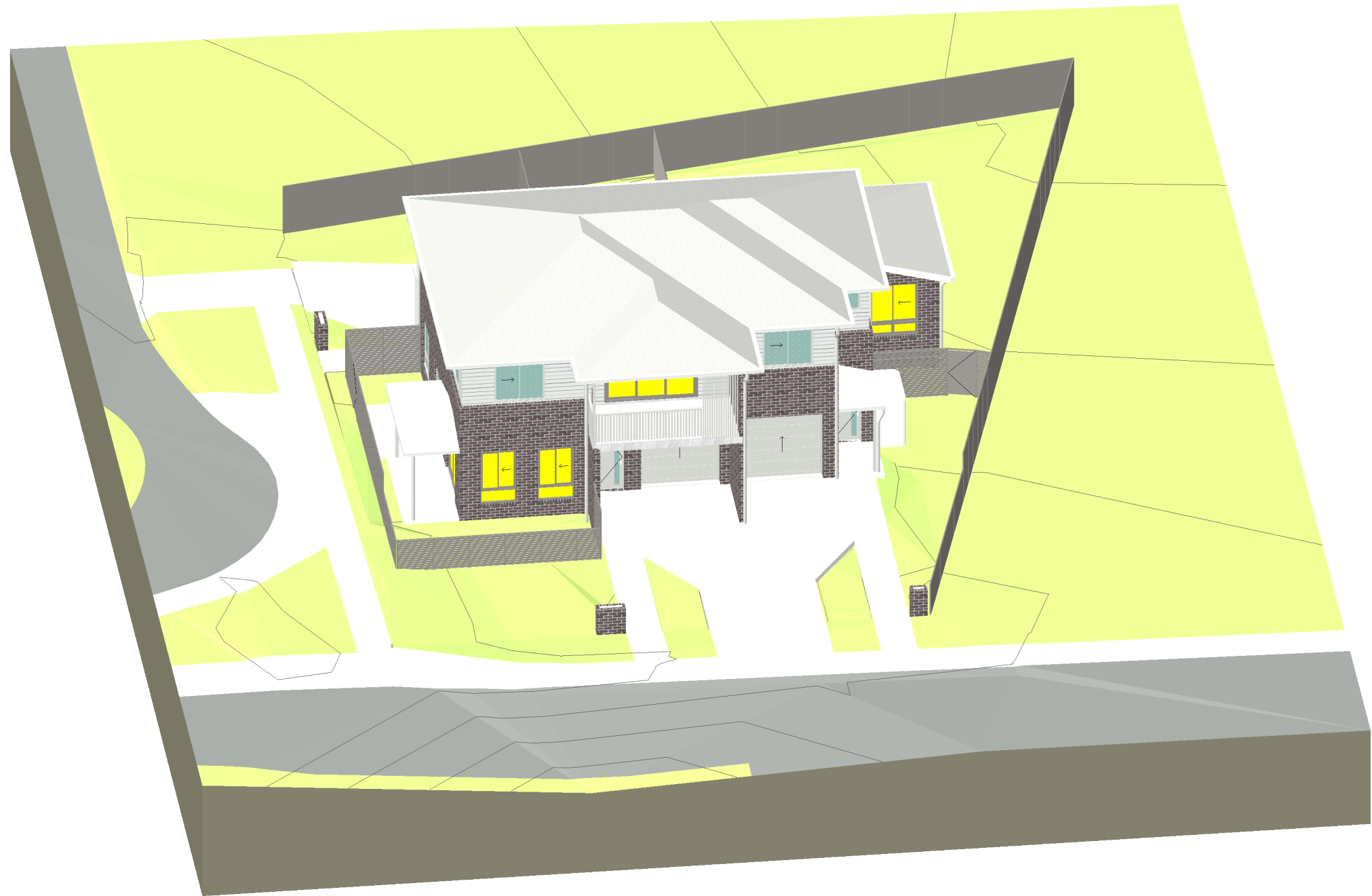




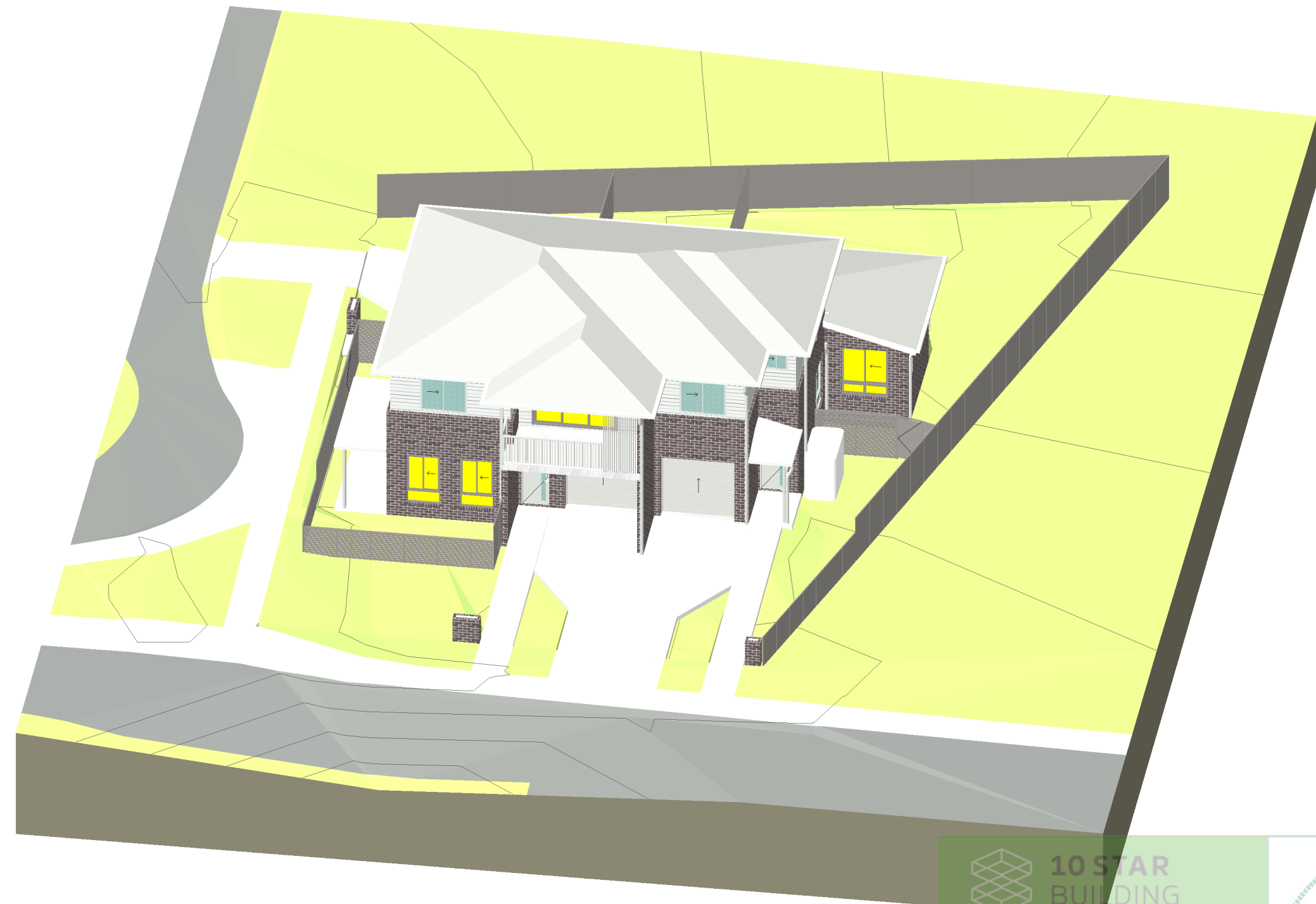
WINTER SUN 09:00AM



WINTER SUN 10:00AM



WINTER SUN 11:00AM



WINTER SUN 12:00PM

LEGEND



living room glazing



all other areas glazing

www.10star.com.au admin@10star.com.au M 0481 010 999

**Certificate No. #HR-5ZYA0P-01**  
Scan QR code or follow website link for rating details.

Assessor Name: Adam Clarke  
Accreditation No.: ABSA 101518  
Property Address: 24 Thurrallilly Street, QUEANBEYAN EAST, NSW, 2620  
<http://www.heresoftware.com.au/pdfs/5ZYA0P-01>

Assessments completed within the accreditation period are part of the ABSA quality audit system.

Accreditation Period: 03/09/2023-03/09/2024

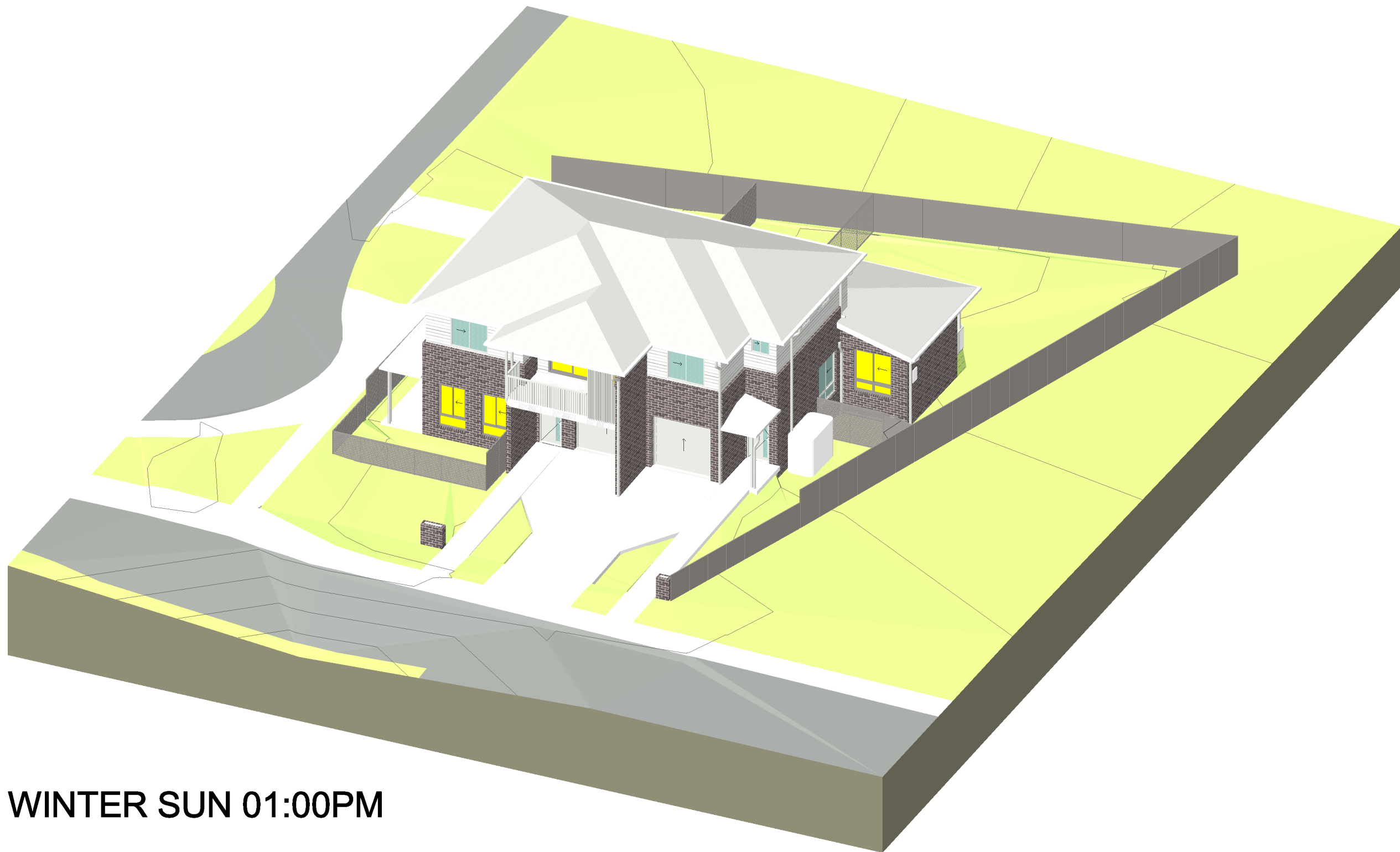
Assessor Name: Adam Clarke  
Assessment Number: 101518

Assessor Signature: \_\_\_\_\_

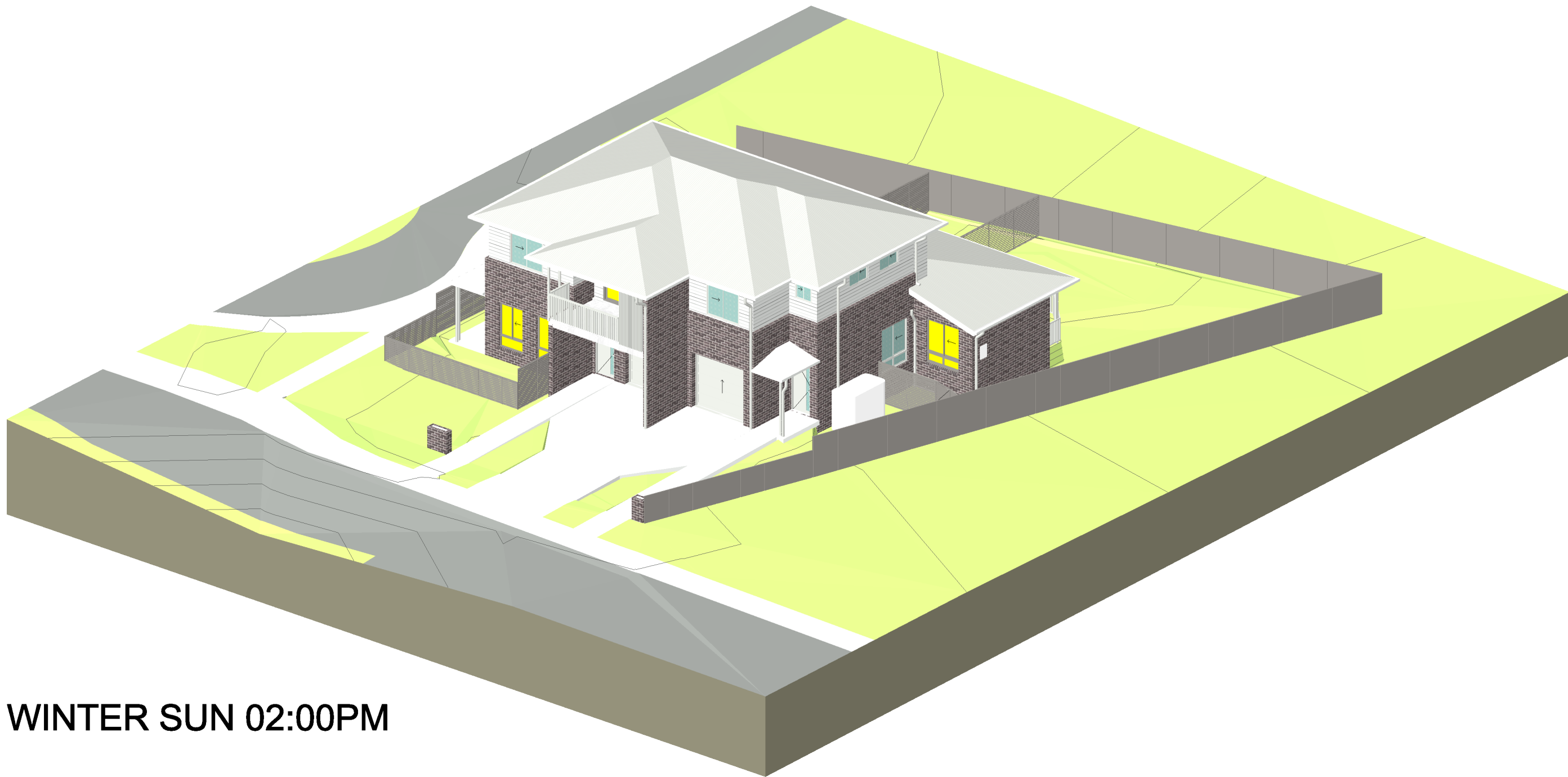
This Accredited Assessor is qualified to use Heresoft's assessment software and has agreed to comply with the ABSA Code of Practice.

**10 STAR ASSessor, NATHAN'S CERTIFICATES, SECTION 1 REPORTS, N/A ASSESSMENTS, N/A PARTIAL N/A REPORT**

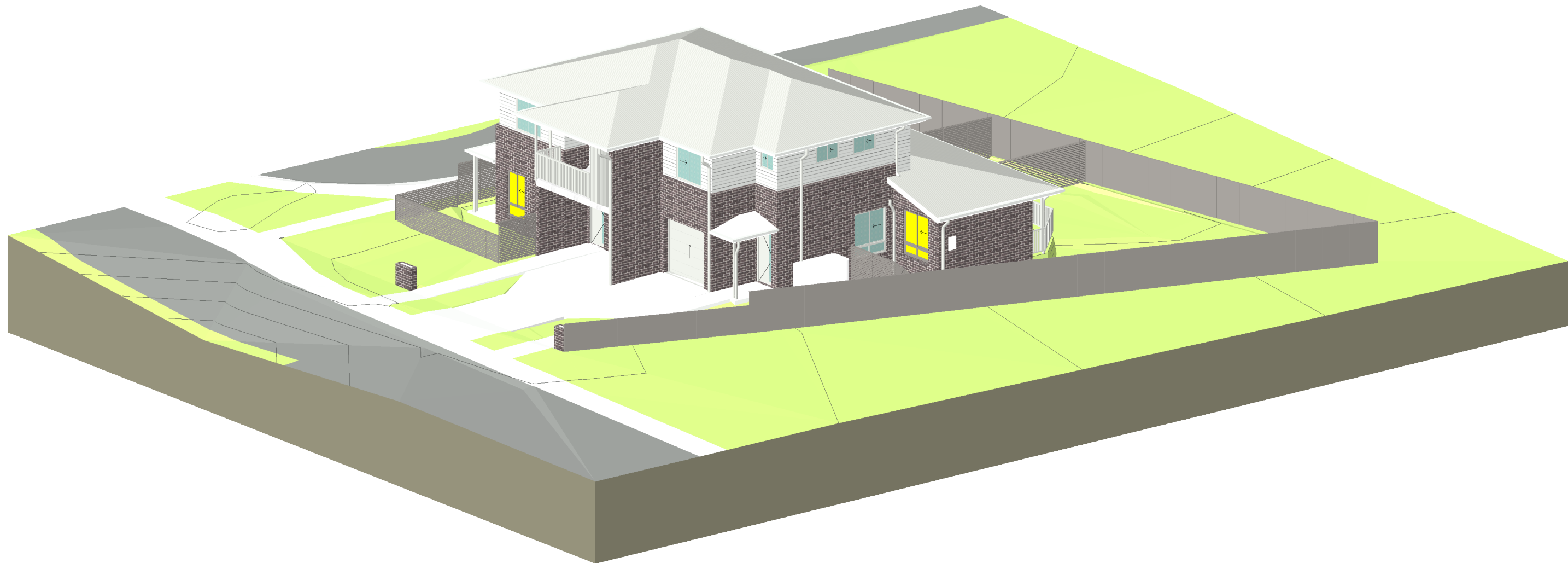




WINTER SUN 01:00PM



WINTER SUN 02:00PM



WINTER SUN 03:00PM

Solar Access					
Living Areas	Dwelling A	Dwelling B	Dwelling C	LAHC Requirements	QDCP Requirements
9:00am to 10:00am	1	1	0		
10:00am to 11:00am	1	1	0		
11:00am to 12:00pm	1	1	1		
12:00pm to 1:00pm	1	1	1		
1:00pm to 2:00pm	1	0	1		
2:00pm to 3:00pm	1	0	1	Min 3hrs per Unit	Min 3 hours per Unit
Total Hours	6hrs	4hrs	4hrs	Min 70% of Units	Min of 80% of Units
	Yes	Yes	Yes	Complies	Complies

Solar Access					
POS	Dwelling A	Dwelling B	Dwelling C	LAHC Requirements	QDCP Requirements
9:00am to 10:00am	1	0	1		
10:00am to 11:00am	1	1	1		
11:00am to 12:00pm	1	1	1		
12:00pm to 1:00pm	1	1	1		
1:00pm to 2:00pm	1	1	1		
2:00pm to 3:00pm	1	0	1	Min 3hrs per Unit	Min 3hrs per Unit
Total Hours	6hrs	4hrs	6hrs	Min 70% of Units	Min 80% of Unit
Complies	Yes	Yes	Yes	Complies	Complies

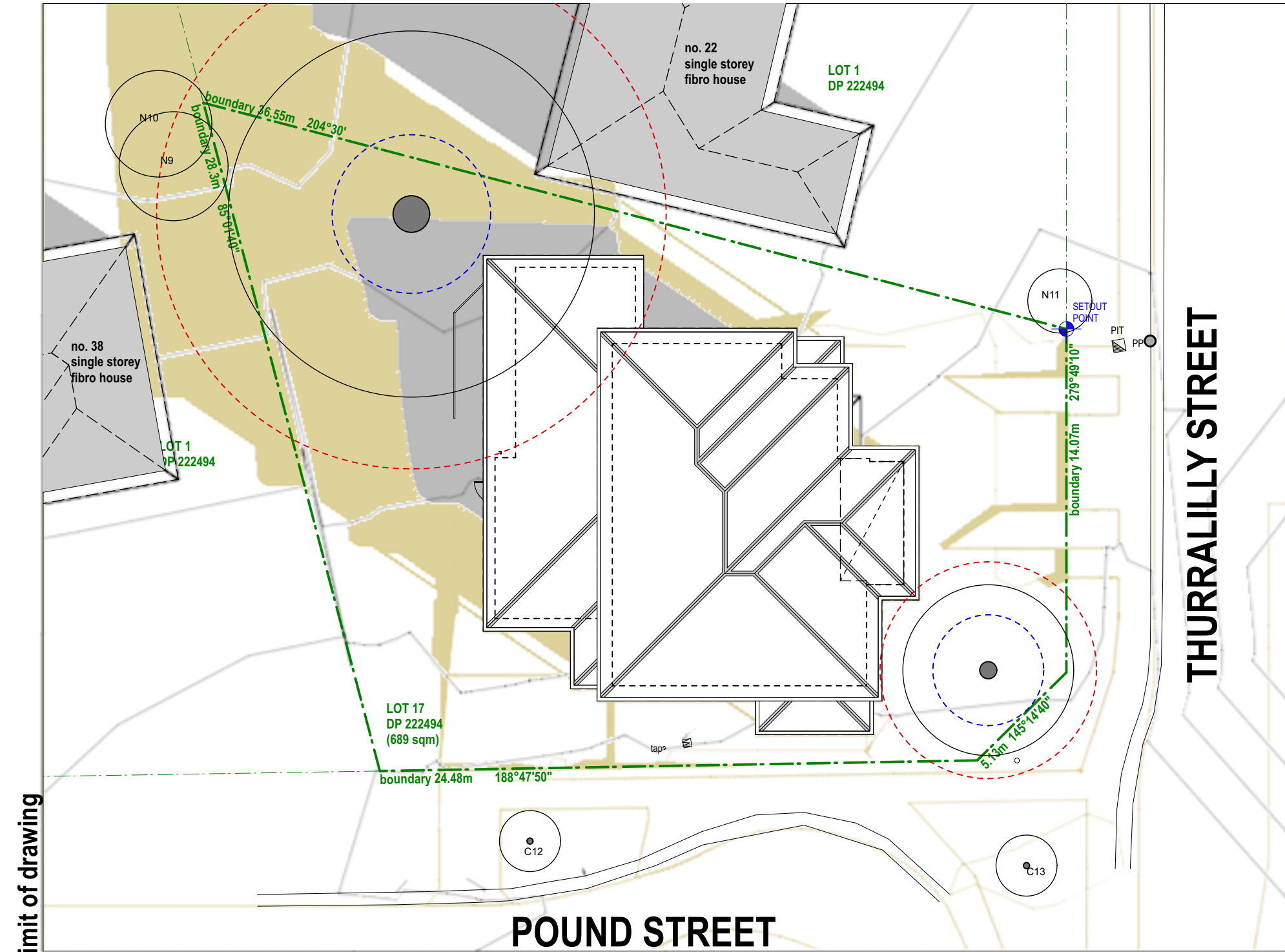
LEGEND

- living room glazing
- all other areas glazing

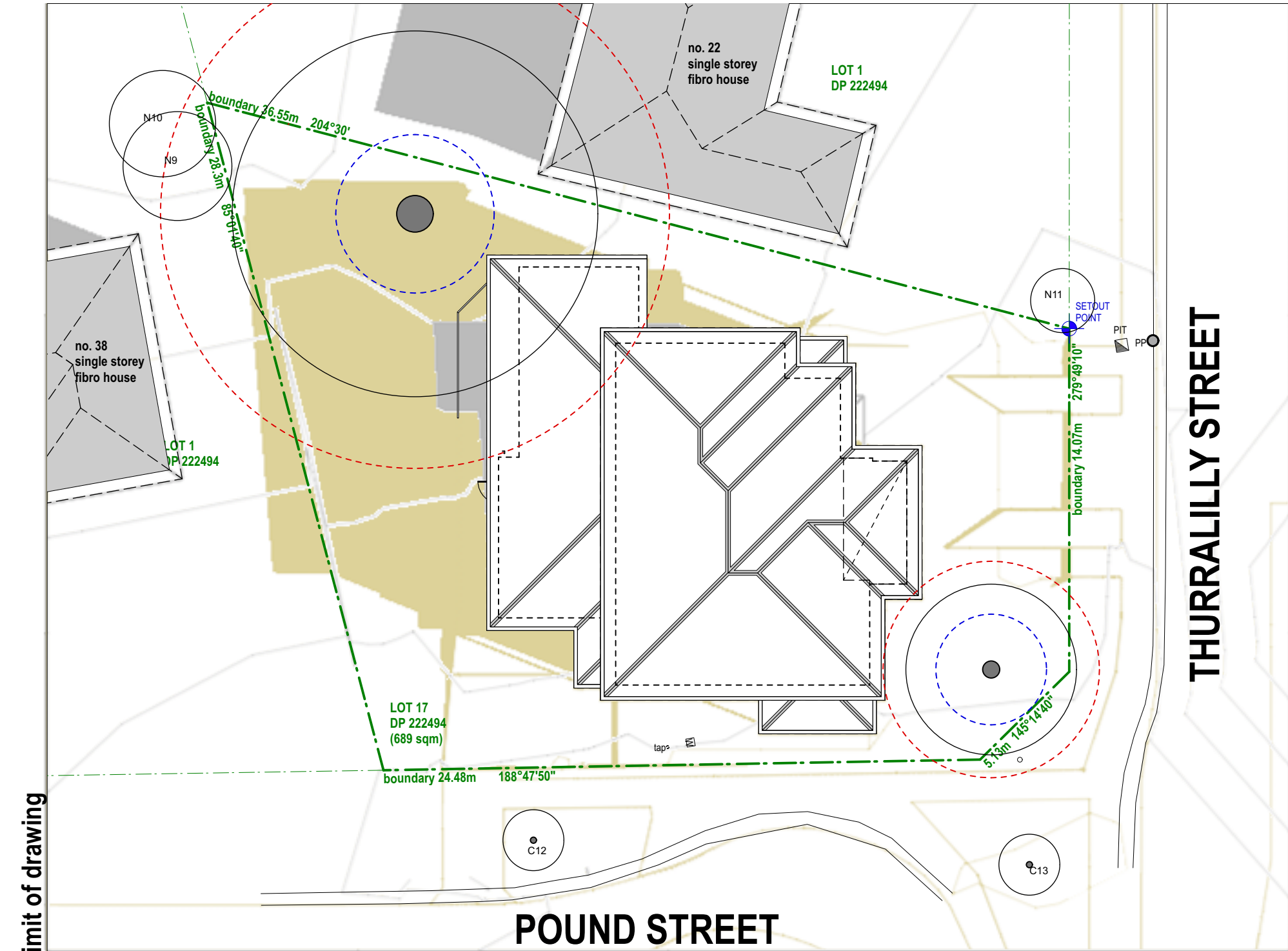




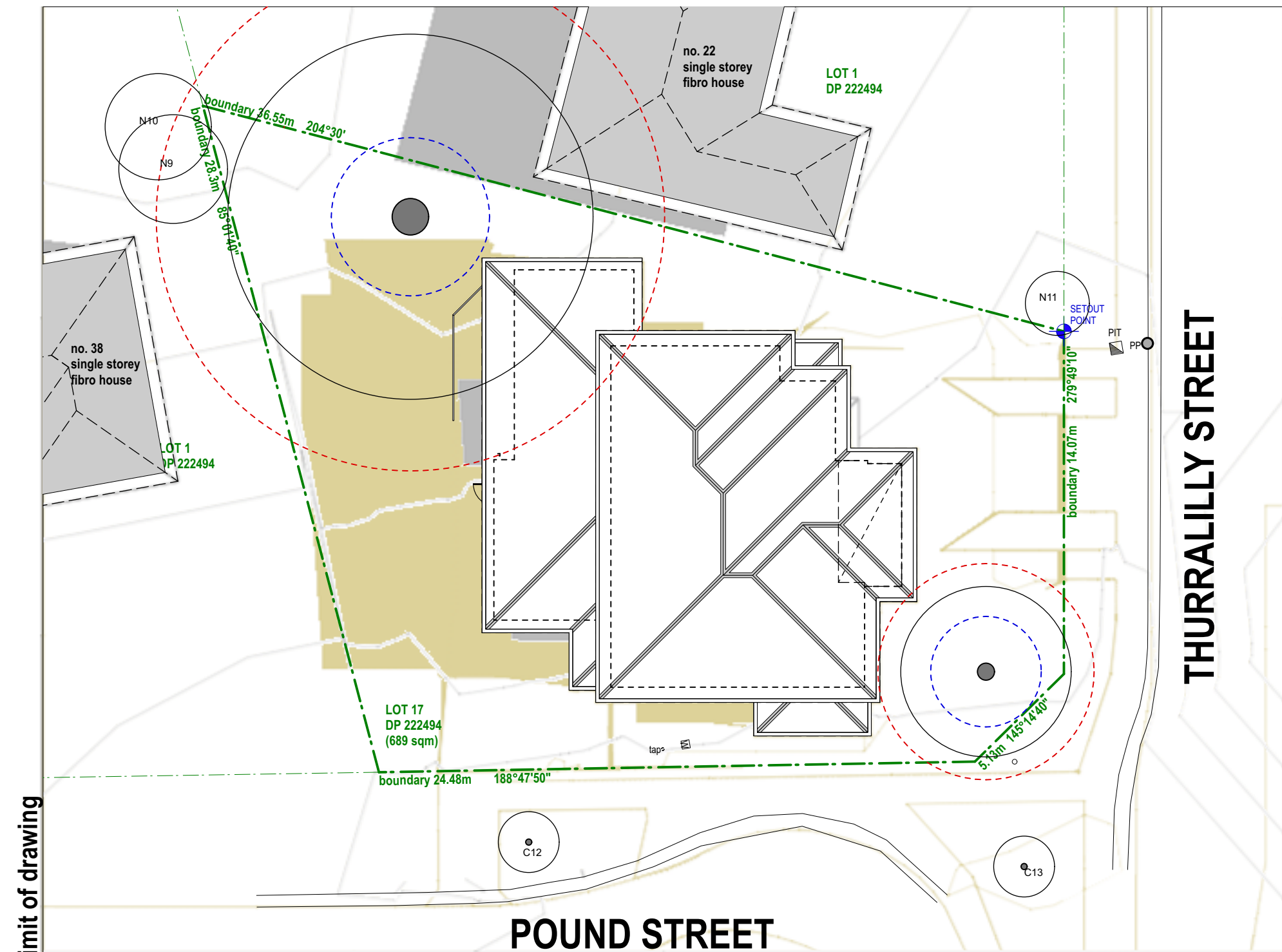
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PURPOSE ONLY  
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5  
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40MM



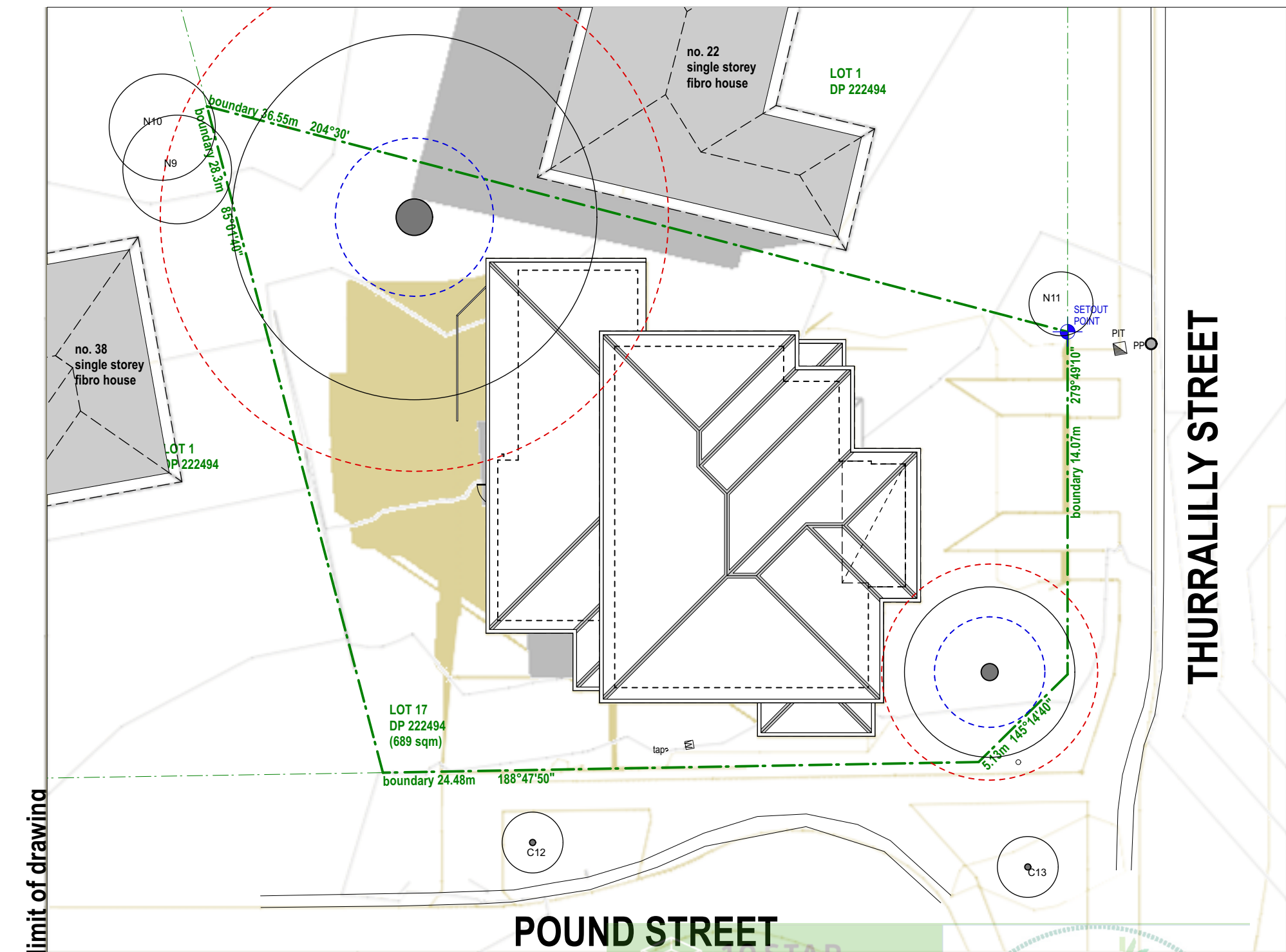
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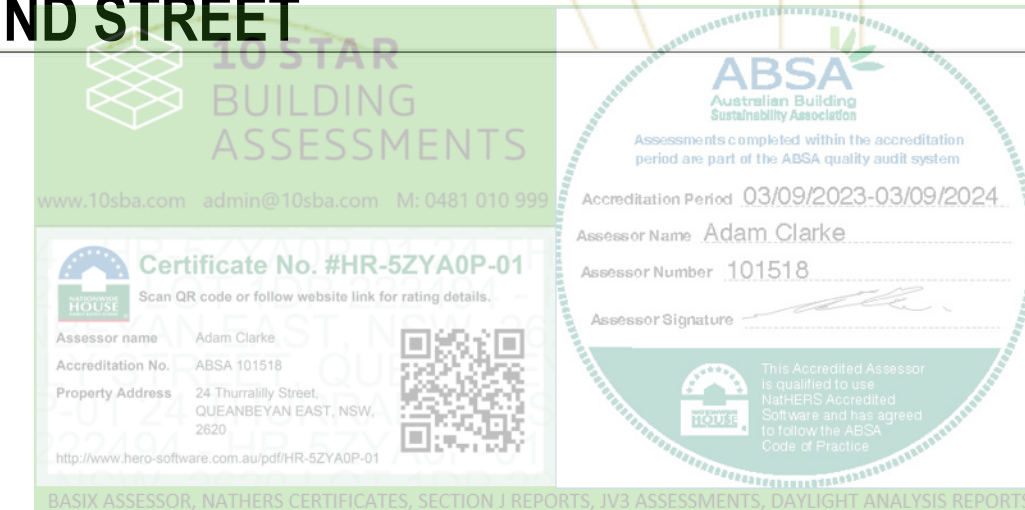
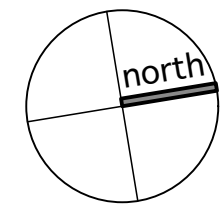
21 JUNE 10:00 AM



21 JUNE 11:00 AM



21 JUNE 12:00 PM



**SHADOW LEGEND**  
■ PROPOSED SHADOW  
■ EXISTING SHADOW



NOMINATED ARCHITECT:  
anthony nolan 6773

A	22/03/24	PART 5 SUBMISSION
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT ARCHITECT  
KENNEDY ASSOCIATES ARCHITECTS  
PH (02) 9557 6466  
PROJECT MANAGER  
HOMES NSW

ACCESS CONSULTANT  
VISTA ACCESS ARCHITECTS  
ARBORIST  
TREE WORKS  
1800 873 343

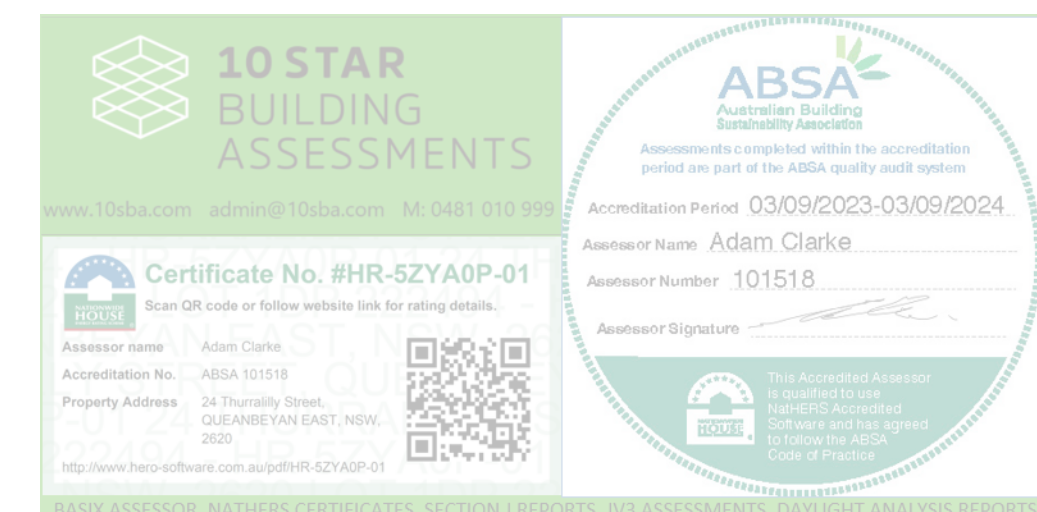
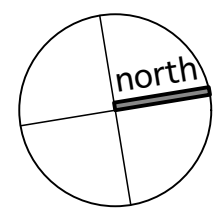
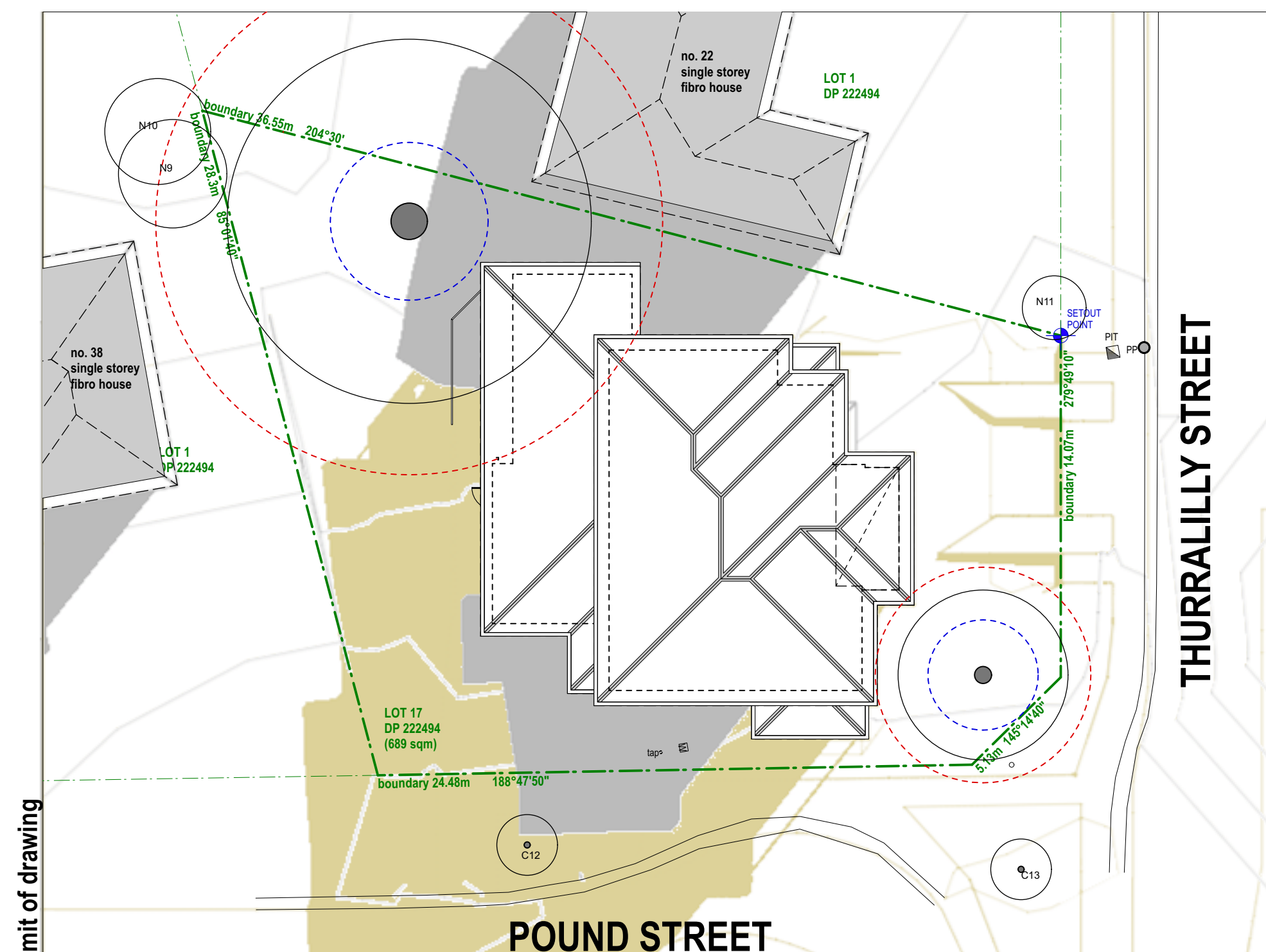
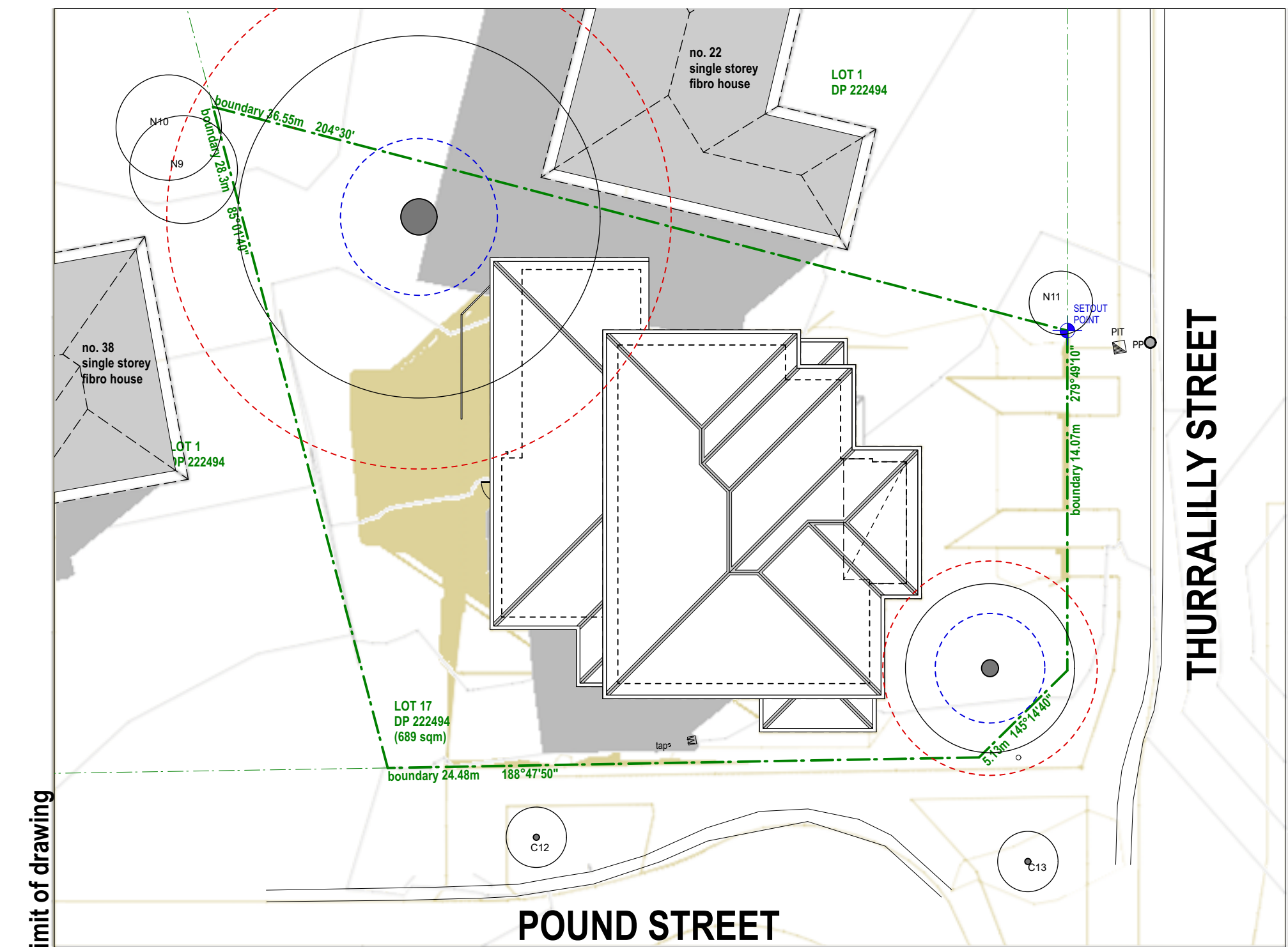
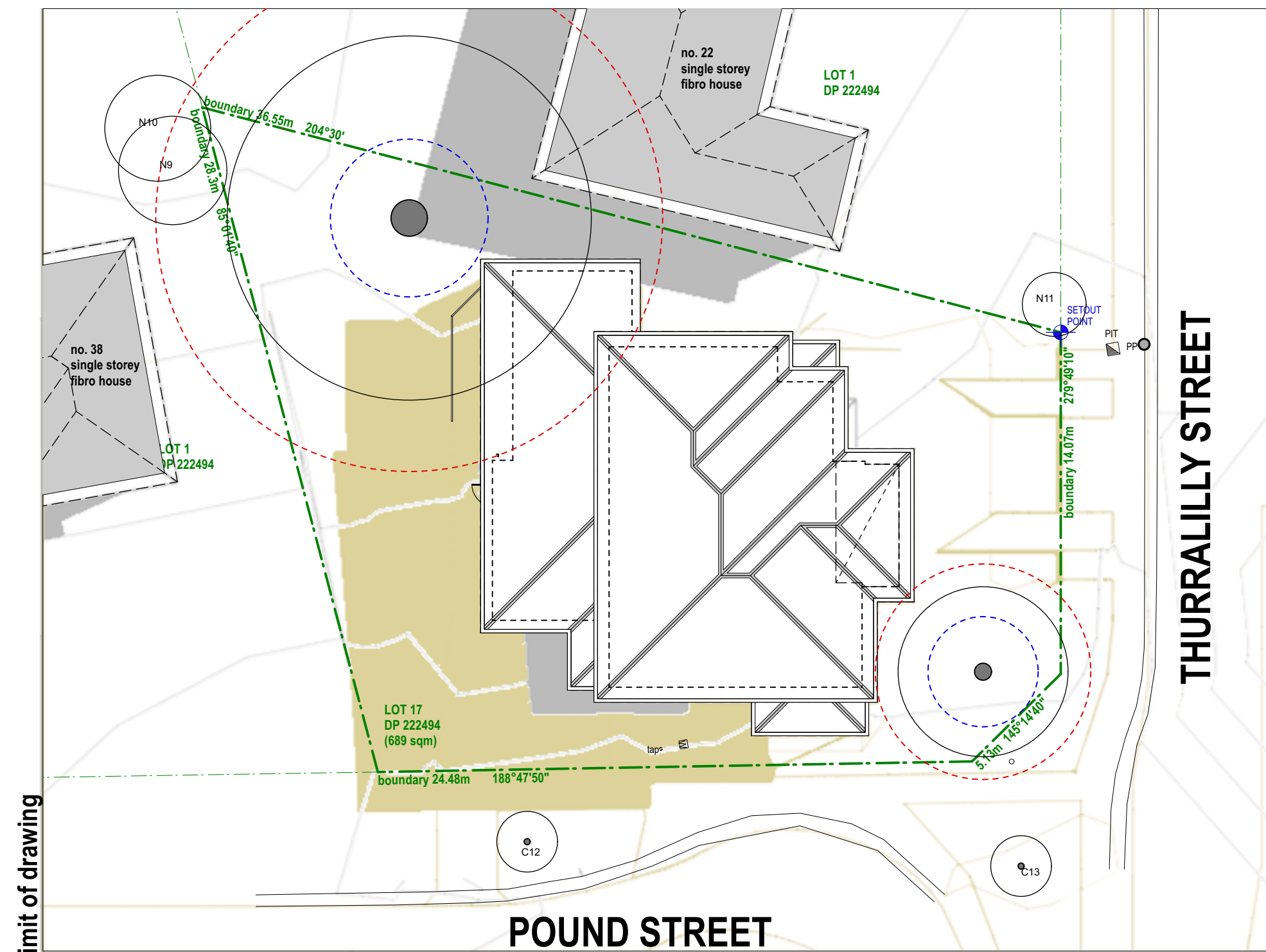
BASIX CONSULTANT  
10 STAR BUILDING ASSESSMENTS  
0481 010 999  
SERVICES CONSULTANTS  
MARLINE BUILDING SERVICES  
ENGINEERS  
02 4602 9000

PROJECT:  
**MANOR HOUSE**  
at  
24 Thurralilly Street QUEANBEYAN EAST - Lot  
17 DP 222494  
689m2  
171-/DP222494



TITLE:  
**SHADOW DIAGRAMS - WINTER  
SOLSTICE 1**  
FILE:  
2071 - DA 00 MODEL MASTER.vwx

STATUS: PART 5 APPLICATION			
SCALE: 1:100 @A1	PROJ: BGWQ3	PROJECT No: BGWQ3	
STAGE: DA	DRAWN: LP	CHECKED: AN	APPROVED: AN
TYPE: AR	SHEET: DA-215	REV: A	



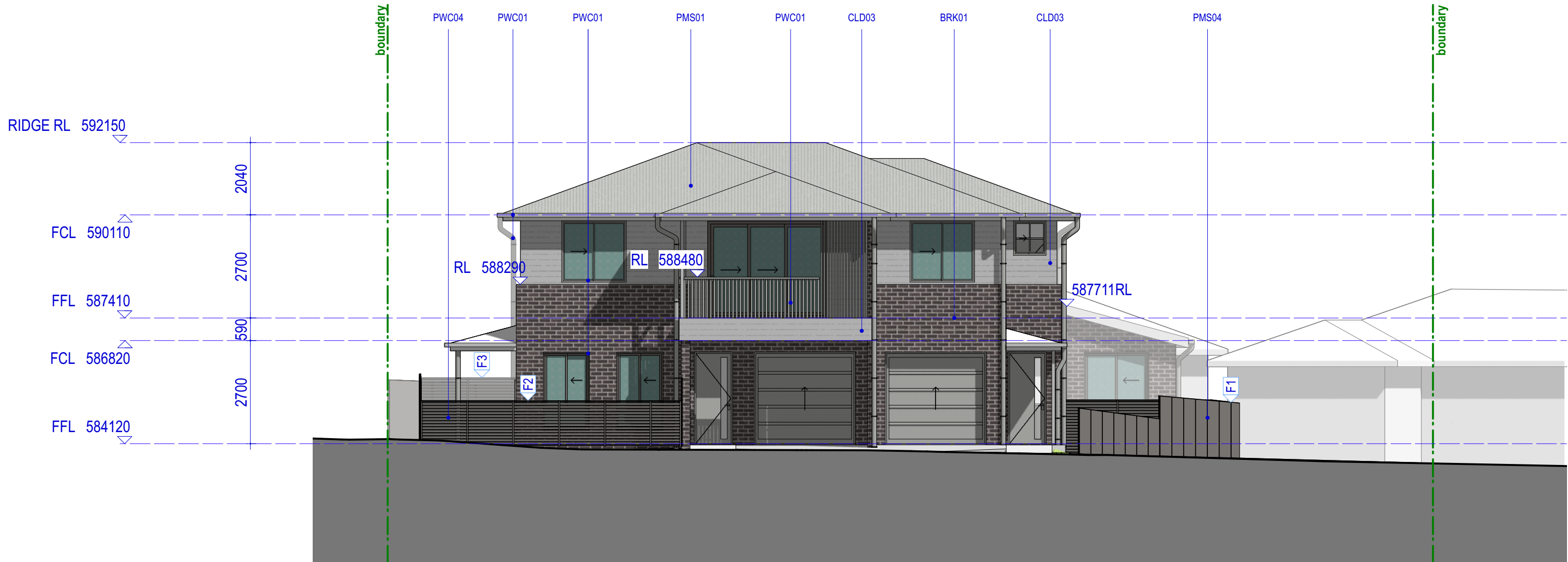
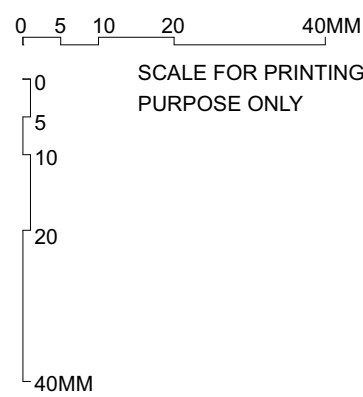


### SHADOW LEGEND

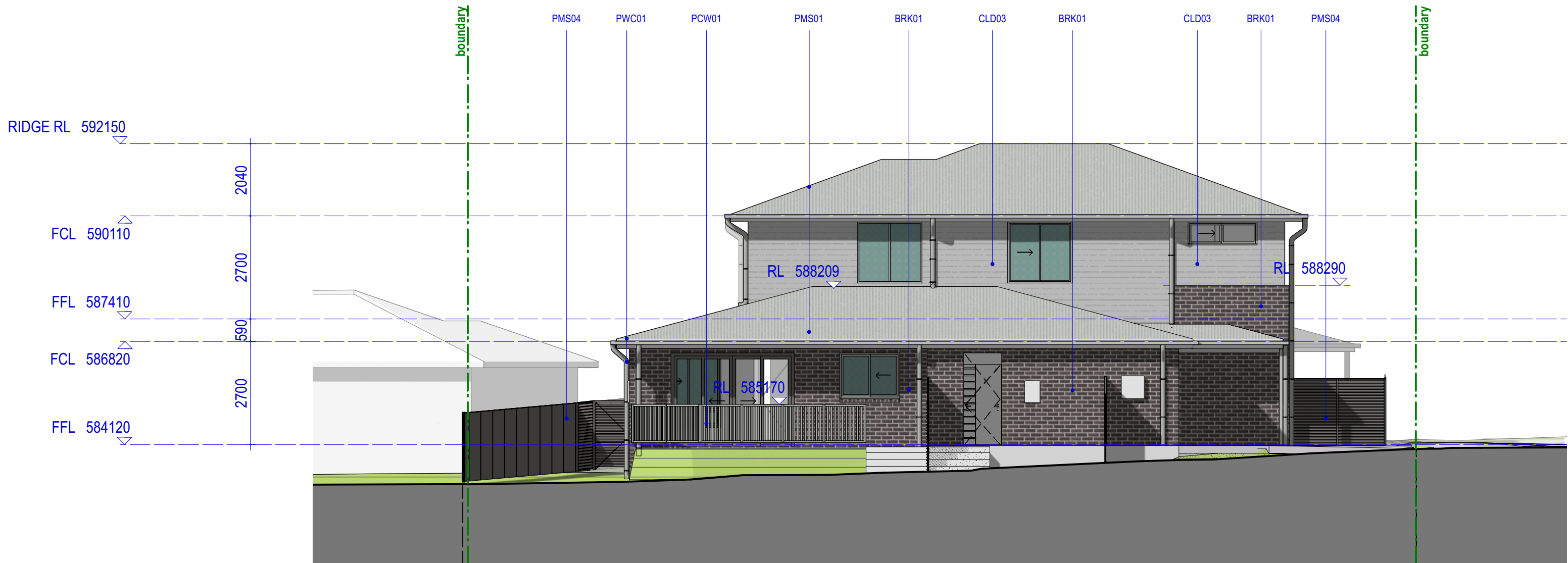
	PROPOSED SHADOW
	EXISTING SHADOW

 	NOMINATED ARCHITECT:					PROJECT ARCHITECT	ACCESS CONSULTANT	BASIX CONSULTANT	PROJECT:	TITLE: <b>SHADOW DIAGRAMS - WINTER SOLSTICE 2</b>	STATUS: <b>PART 5 APPLICATION</b>		
	anthony nolan 6773					KENNEDY ASSOCIATES ARCHITECTS	VISTA ACCESS ARCHITECTS	10 STAR BUILDING ASSESSMENTS	MANOR HOUSE at				
						PH (02) 9557 6466		0481 010 999	24 Thrurallilly Street QUEANBEYAN EAST - Lot 17 DP 222494				
									689m2				
	A	22/03/24	DATE	PART 5 SUBMISSION		PROJECT MANAGER	ARBORIST	SERVICES CONSULTANTS					
	REV					HOMES NSW	TREE WORKS	MARLINE BUILDING SERVICES ENGINEERS					
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.							1800 873 343	02 4925 9000					
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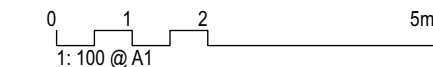




NORTH ELEVATION



SOUTH ELEVATION



LEGEND

- 01 material ID
- #° roof pitch
- fire attenuation screen

FINISH LEGEND

- BRK01 PGH dark & stormy
- CLD03 scyon linea - dulux wallaby
- PMS01 custom orb - colourbond shale grey
- PMS04 custom orb - colourbond wallaby
- PWC01 dulux shale grey
- PWC04 dulux dune matt

FINISH NOTES

- PWC01 to all window frames, doors, handrails and privacy screens
- fascia, gutter & downpipes to match roof finish

FENCE & SCREEN LEGEND

- F1 1.8m high colourbond boundary fence
- F2 1.2m high horizontal aluminium slat fence - closely spaced for privacy
- F3 1.8m high horizontal aluminium slat fence - closely spaced for privacy

COLOUR SCHEDULE

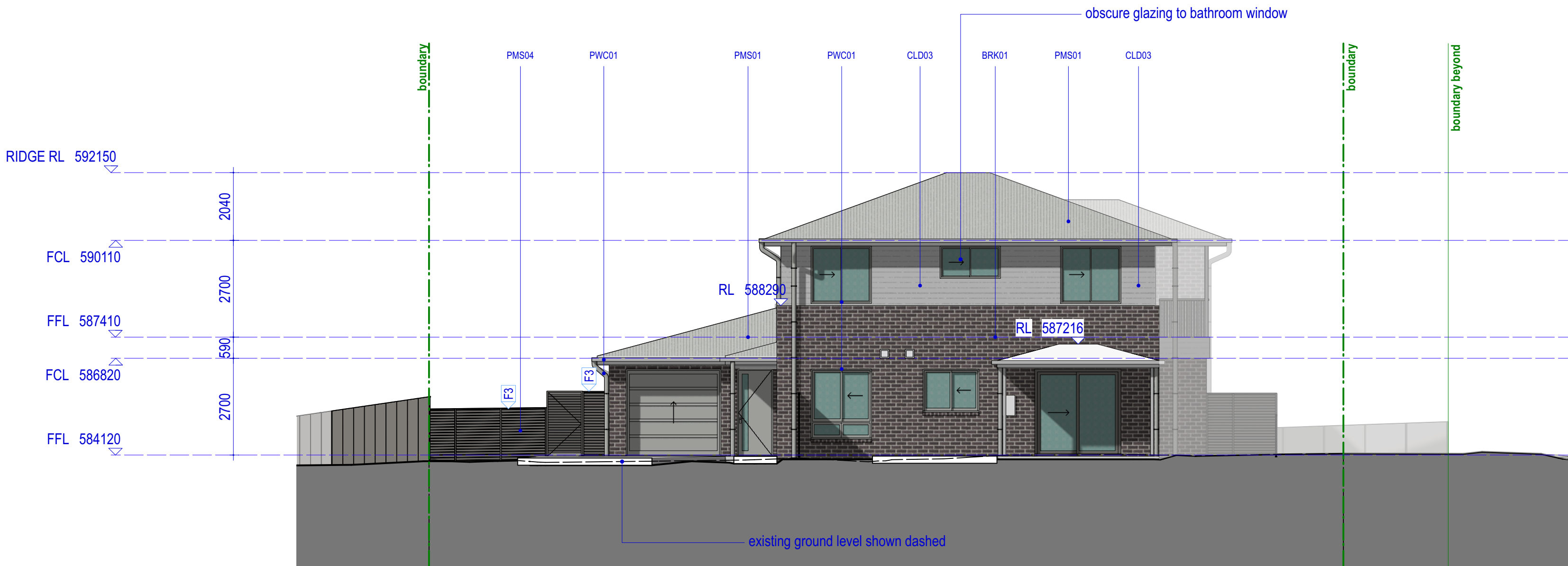
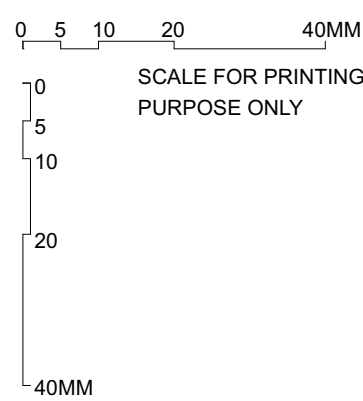
ROOFING		COLORBOND METAL ROOF SHEETING (custom orb)	SHALE GREY
WALLS		FACE BRICK	PGH - DARK & STORMY - MONSOON
WALLS		WEATHERBOARD WALL CLADDING	DULUX SHALE GREY OR SIMILAR
FENCES		POWDERCOATED METAL	COLORBOND WALLABY OR SIMILAR
DOWNPIPES, BALUSTRADES, WINDOW FRAMES		POWDERCOATED METAL	COLORBOND SHALE GREY OR SIMILAR
FENCES		POWDERCOATED METAL	COLORBOND DUNE OR SIMILAR

NOTES

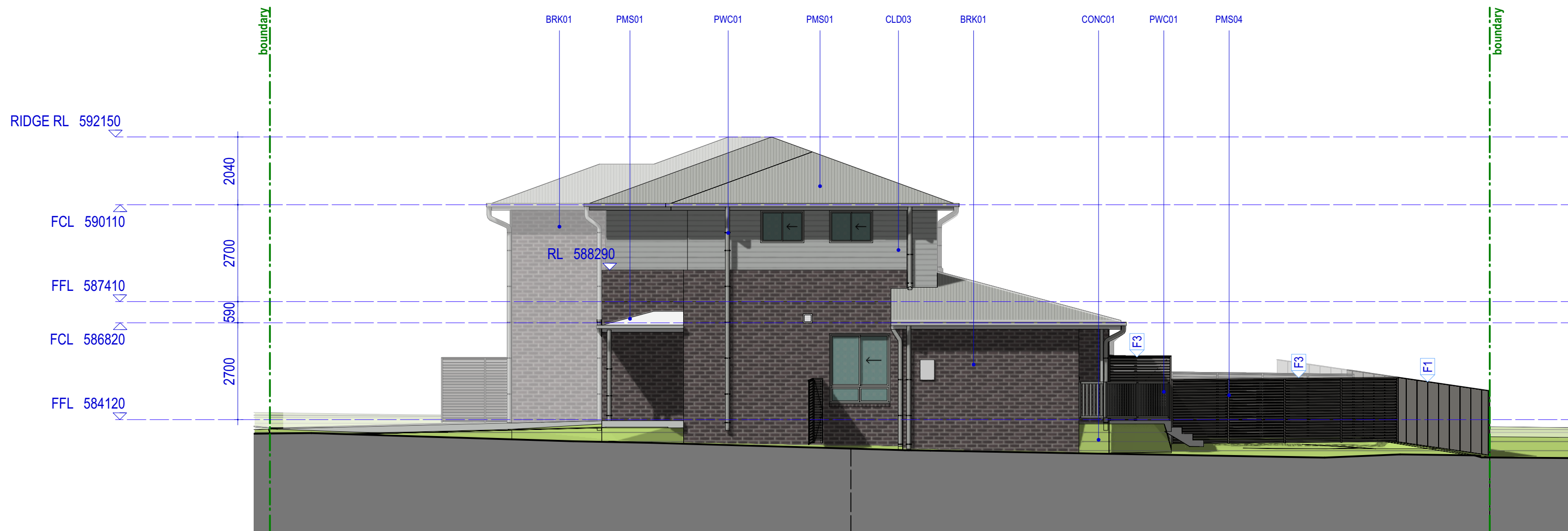
- these drawings are to be read in conjunction with specifications schedules and other consultants' documentation.
- do not scale off drawings.

	NOMINATED ARCHITECT: anthony nolan 6773	PROJECT ARCHITECT KENNEDY ASSOCIATES ARCHITECTS PH (02) 9557 6466 PROJECT MANAGER HOMES NSW	ACCESS CONSULTANT VISTA ACCESS ARCHITECTS ARBORIST CONSULTANT TREE WORKS 1800 873 343	BASIX CONSULTANT 10 STAR BUILDING ASSESSMENTS 0481 010 999 SERVICES CONSULTANT MARLINE BUILDING SERVICES ENGINEERS 02 4902 9000	PROJECT: <b>MANOR HOUSE</b> at 24 Thurralilly Street QUEANBEYAN EAST - Lot 17 DP 222494 689m2 171-/DP222494	TITLE: <b>ELEVATIONS - SHEET 01</b> FILE: 2071 - DA 02 ELEVATION MASTER.vwx	STATUS: PRELIMINARY		
							SCALE: 1:100	PROJ: BGWQ3	PROJECT No: BGWQ3
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							TYPE: AR	SHEET: DA-300	APPROVED: AN REV: A

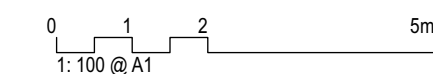




EAST ELEVATION



WEST ELEVATION



LEGEND

- 01 material ID
- #° roof pitch
- fire attenuation screen

FINISH LEGEND

- BRK01 PGH dark & stormy
- CLD03 scyon linea - dulux wallaby
- PMS01 custom orb - colourbond shale grey
- PMS04 custom orb - colourbond wallaby
- PWC01 dulux shale grey
- PWC04 dulux dune matt

FINISH NOTES

- PWC01 to all window frames, doors, handrails and privacy screens
- fascia, gutter & downpipes to match roof finish

FENCE & SCREEN LEGEND

- F1 1.8m high colourbond boundary fence
- F2 1.2m high horizontal aluminium slat fence - closely spaced for privacy
- F3 1.8m high horizontal aluminium slat fence - closely spaced for privacy

COLOUR SCHEDULE

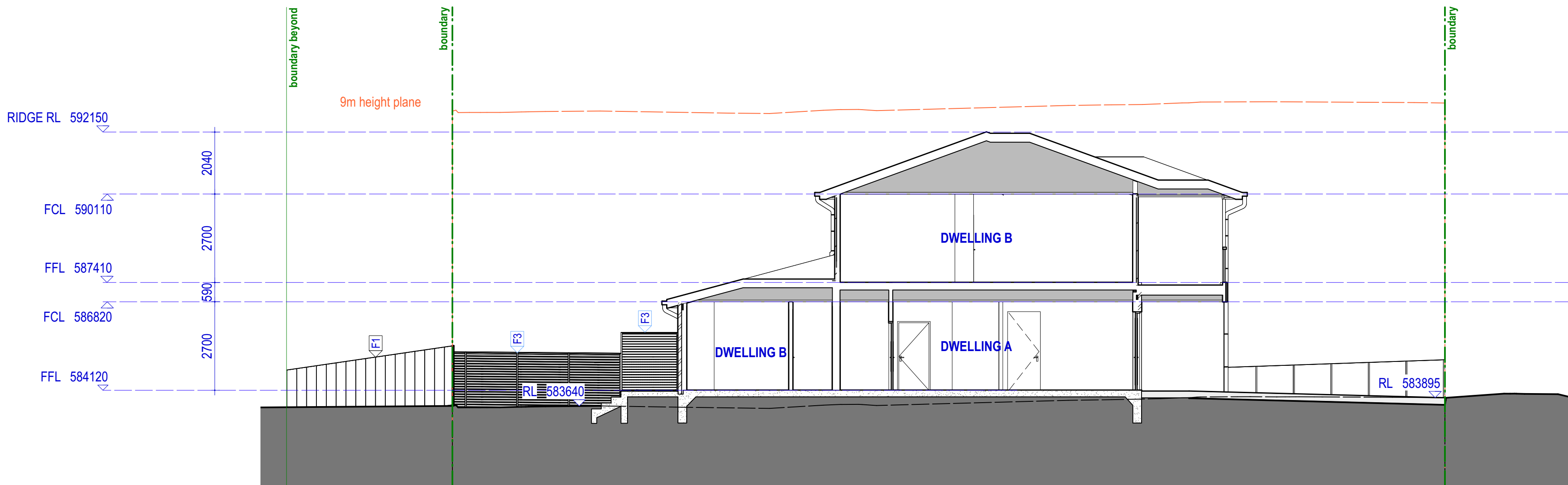
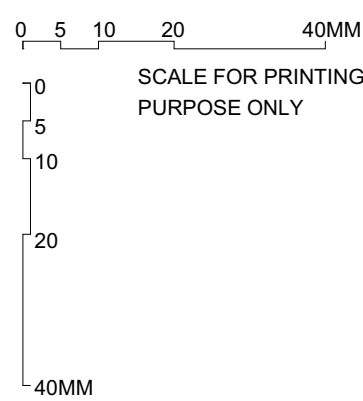
ROOFING		COLORBOND METAL ROOF SHEETING (custom orb)	SHALE GREY
WALLS		FACE BRICK	PGH - DARK & STORMY - MONSOON
WALLS		WEATHERBOARD WALL CLADDING	DULUX SHALE GREY OR SIMILAR
FENCES		POWDERCOATED METAL	COLORBOND WALLABY OR SIMILAR
DOWNPIPES, BALUSTRADES, WINDOW FRAMES		POWDERCOATED METAL	COLORBOND SHALE GREY OR SIMILAR
FENCES		POWDERCOATED METAL	COLORBOND DUNE OR SIMILAR

NOTES

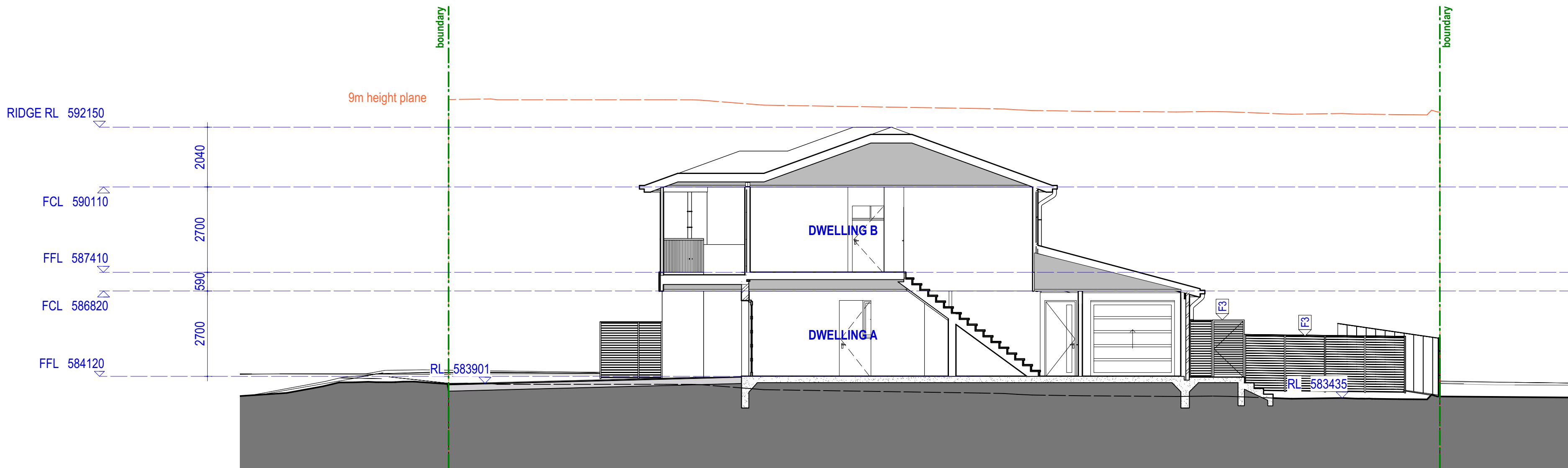
- these drawings are to be read in conjunction with specifications schedules and other consultants' documentation.
- do not scale off drawings.

 	NOMINATED ARCHITECT: anthony nolan 6773	PROJECT ARCHITECT KENNEDY ASSOCIATES ARCHITECTS PH (02) 9557 6466 PROJECT MANAGER HOMES NSW	ACCESS CONSULTANT VISTA ACCESS ARCHITECTS ARBORIST CONSULTANT TREE WORKS 1800 873 343	BASIX CONSULTANT 10 STAR BUILDING ASSESSMENTS 0481 010 999 SERVICES CONSULTANT MARLINE BUILDING SERVICES ENGINEERS 02 4925 9000	PROJECT: <b>MANOR HOUSE</b> at 24 Thurralilly Street QUEANBEYAN EAST - Lot 17 DP 222494 689m2 171-/DP222494	TITLE: <b>ELEVATIONS - SHEET 02</b> FILE: 2071 - DA 02 ELEVATION MASTER.vwx	STATUS: PRELIMINARY		
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							STAGE: DA	DRAWN: LP	CHECKED: AN
							TYPE: AR	SHEET: DA-301	APPROVED: AN





SECTION AA



SECTION BB

FENCE & SCREEN LEGEND

- F1 1.8m high colourbond boundary fence
- F2 1.2m high horizontal aluminium slat fence - closely spaced for privacy
- F3 1.8m high horizontal aluminium slat fence - closely spaced for privacy

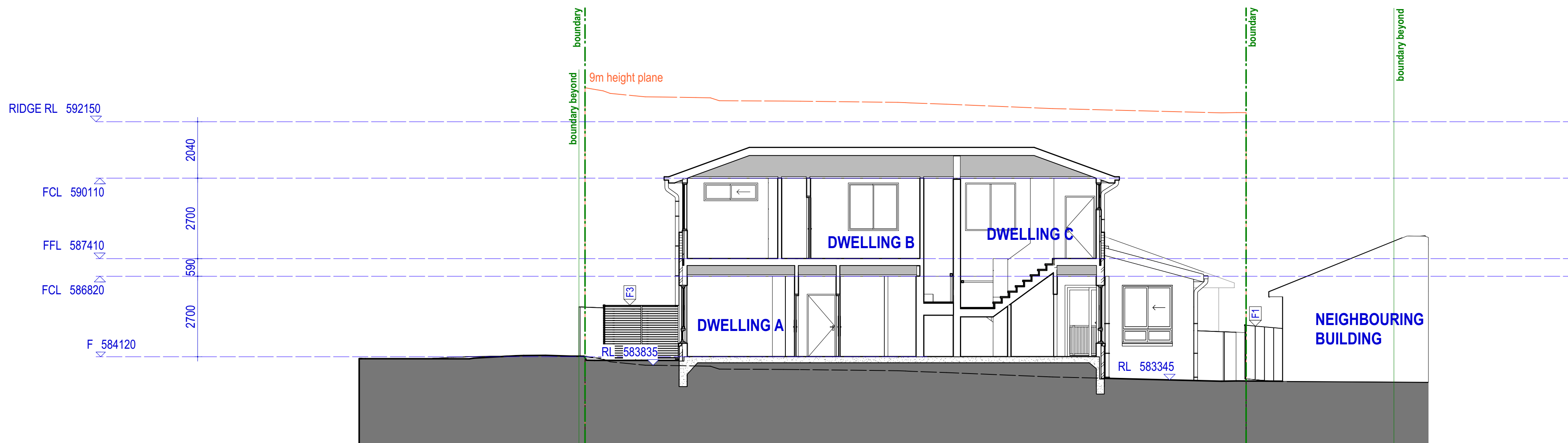
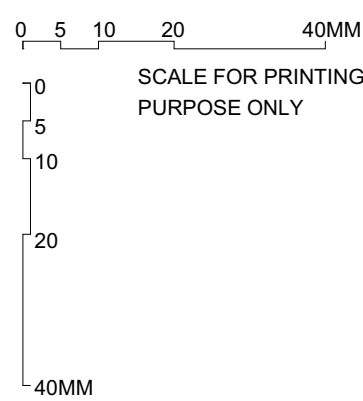
NOTES

- these drawings are to be read in conjunction with specifications schedules and other consultants' documentation.
- do not scale off drawings.
- all the rangehood, laundry and bathroom exhaust to be ducted to the external walls.
- all mechanical ventilation discharge to be direct / ducted to external wall as per bca part 3.8.7.4 - condensation management.

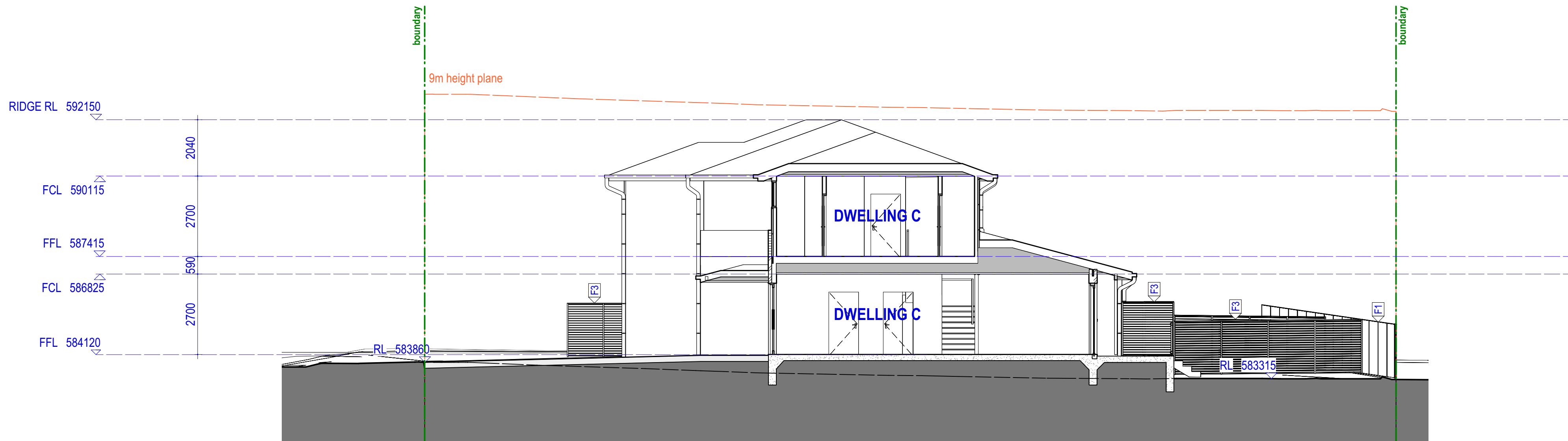


 	NOMINATED ARCHITECT:					PROJECT ARCHITECT	KENNEDY ASSOCIATES ARCHITECTS	ACCESS CONSULTANT	VISTA ACCESS ARCHITECTS	BASIX CONSULTANT	10 STAR BUILDING ASSESSMENTS	PROJECT:	<b>MANOR HOUSE</b>			TITLE:	<b>SECTIONS - SHEET 01</b>			STATUS:	<b>PRELIMINARY</b>		
	anthony nolan 6773												24				1:100			SCALE:	PROJ: BGWQ3		
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												24											





SECTION CC



SECTION DD

#### FENCE & SCREEN LEGEND

- F1 1.8m high colourbond boundary fence
- F2 1.2m high horizontal aluminium slat fence - closely spaced for privacy
- F3 1.8m high horizontal aluminium slat fence - closely spaced for privacy

#### NOTES

- these drawings are to be read in conjunction with specifications schedules and other consultants' documentation.
- do not scale off drawings.
- all the rangehood, laundry and bathroom exhaust to be ducted to the external walls.
- all mechanical ventilation discharge to be direct / ducted to external wall as per bca part 3.8.7.4 - condensation management.



NOMINATED ARCHITECT:  
anthony nolan 6773

REV	DATE	NOTATION/AMENDMENT
A	22/03/24	PART 5 SUBMISSION
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT ARCHITECT  
KENNEDY ASSOCIATES ARCHITECTS  
PH (02) 9557 6466  
PROJECT MANAGER  
HOMES NSW

ACCESS CONSULTANT  
VISTA ACCESS ARCHITECTS  
ARBORIST CONSULTANT  
TREE WORKS  
1800 873 343

BASIX CONSULTANT  
10 STAR BUILDING ASSESSMENTS  
0481 010 999  
SERVICES CONSULTANT  
MARLINE BUILDING SERVICES  
ENGINEERS  
02 4625 9500

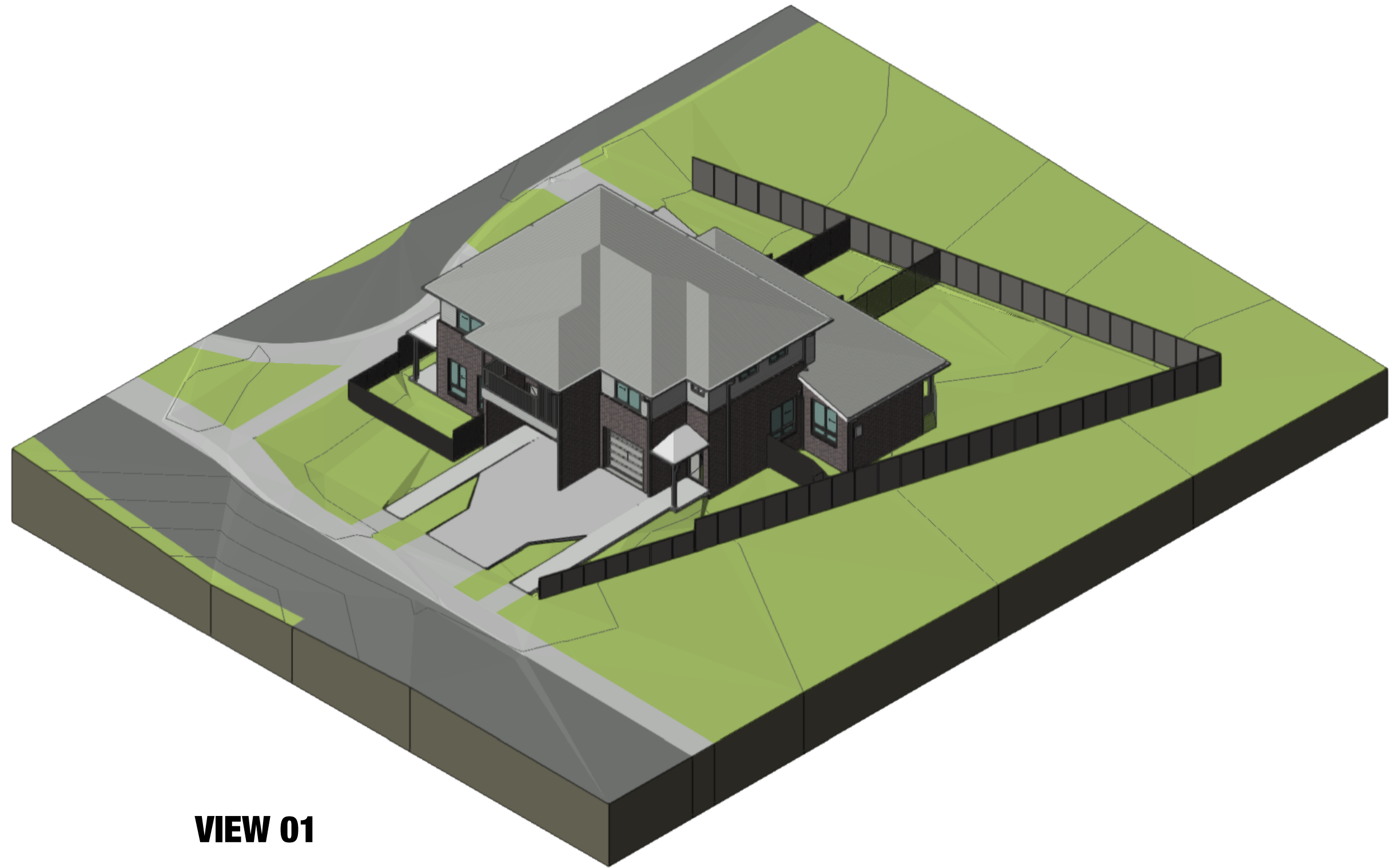
PROJECT:  
**MANOR HOUSE**  
at  
24 Thurralilly Street QUEANBEYAN EAST - Lot  
17 DP 222494  
689m2  
17/-DP222494

TITLE:  
**SECTIONS - SHEET 01**

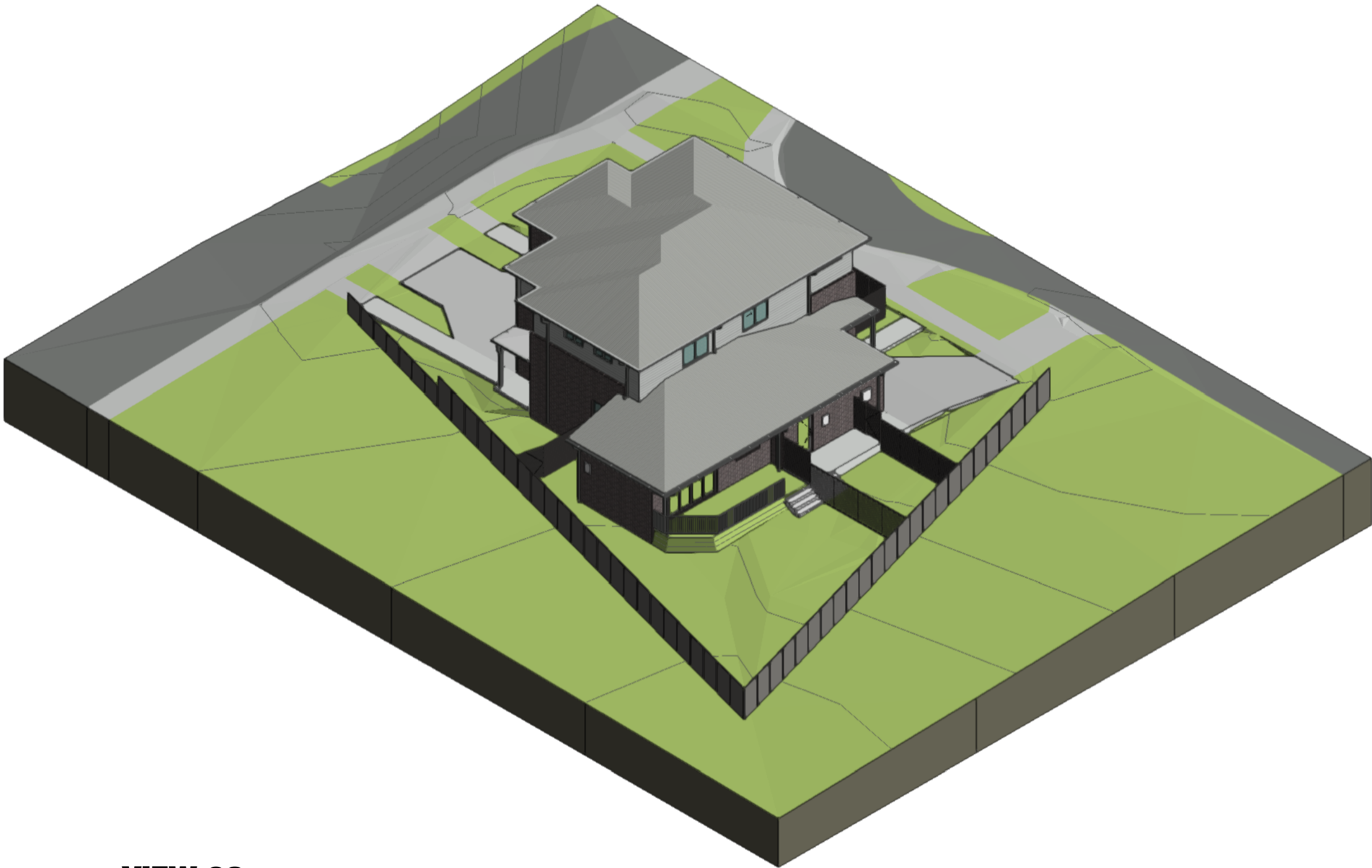
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STATUS: PART 5 APPLICATION			
SCALE: 1:100	PROJ: BGWQ3	PROJECT NO: BGWQ3	
STAGE: DA	DRAWN: LP	CHECKED: AN	APPROVED: AN
TYPE: AR	SHEET: DA-401	REV: A	

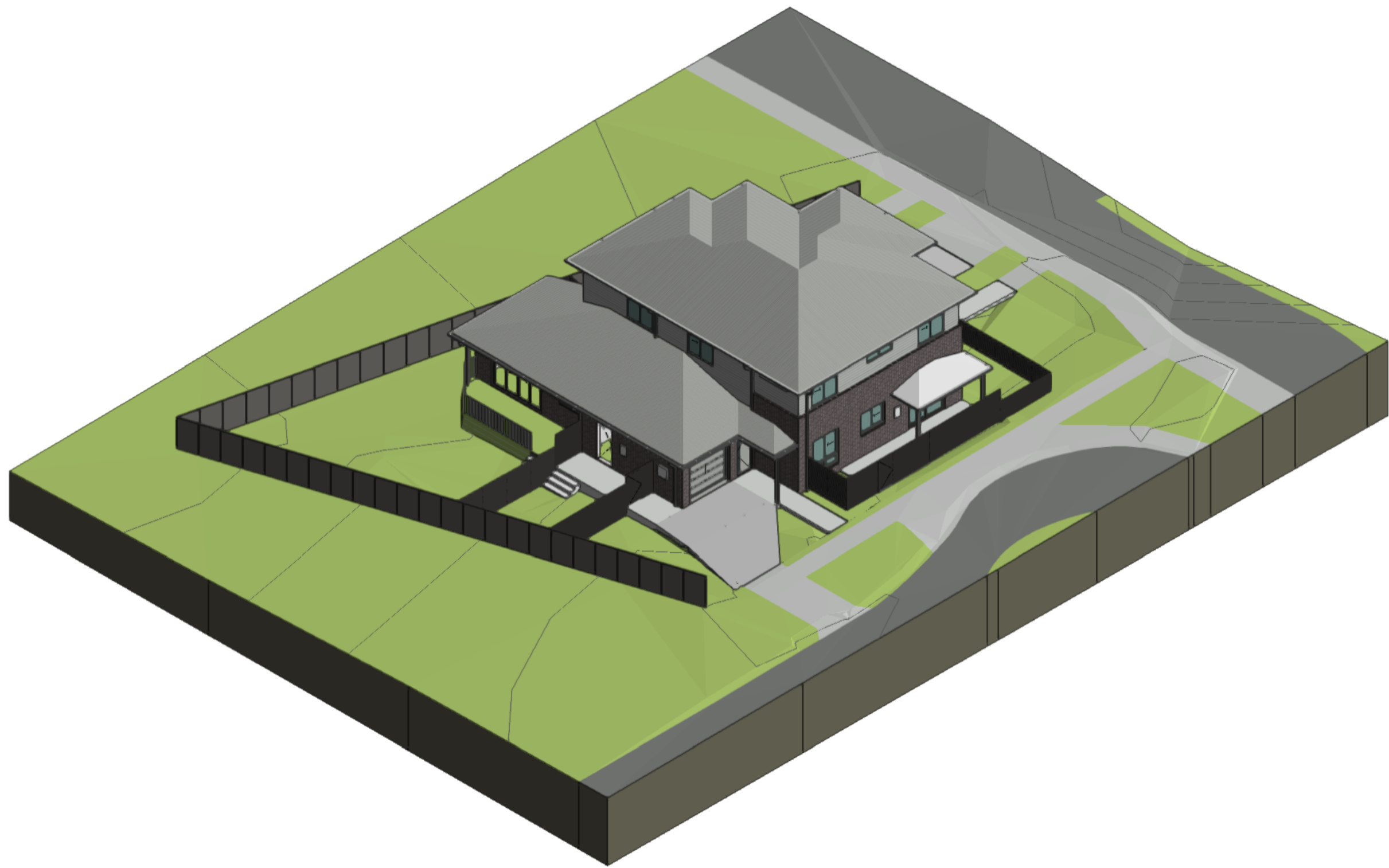




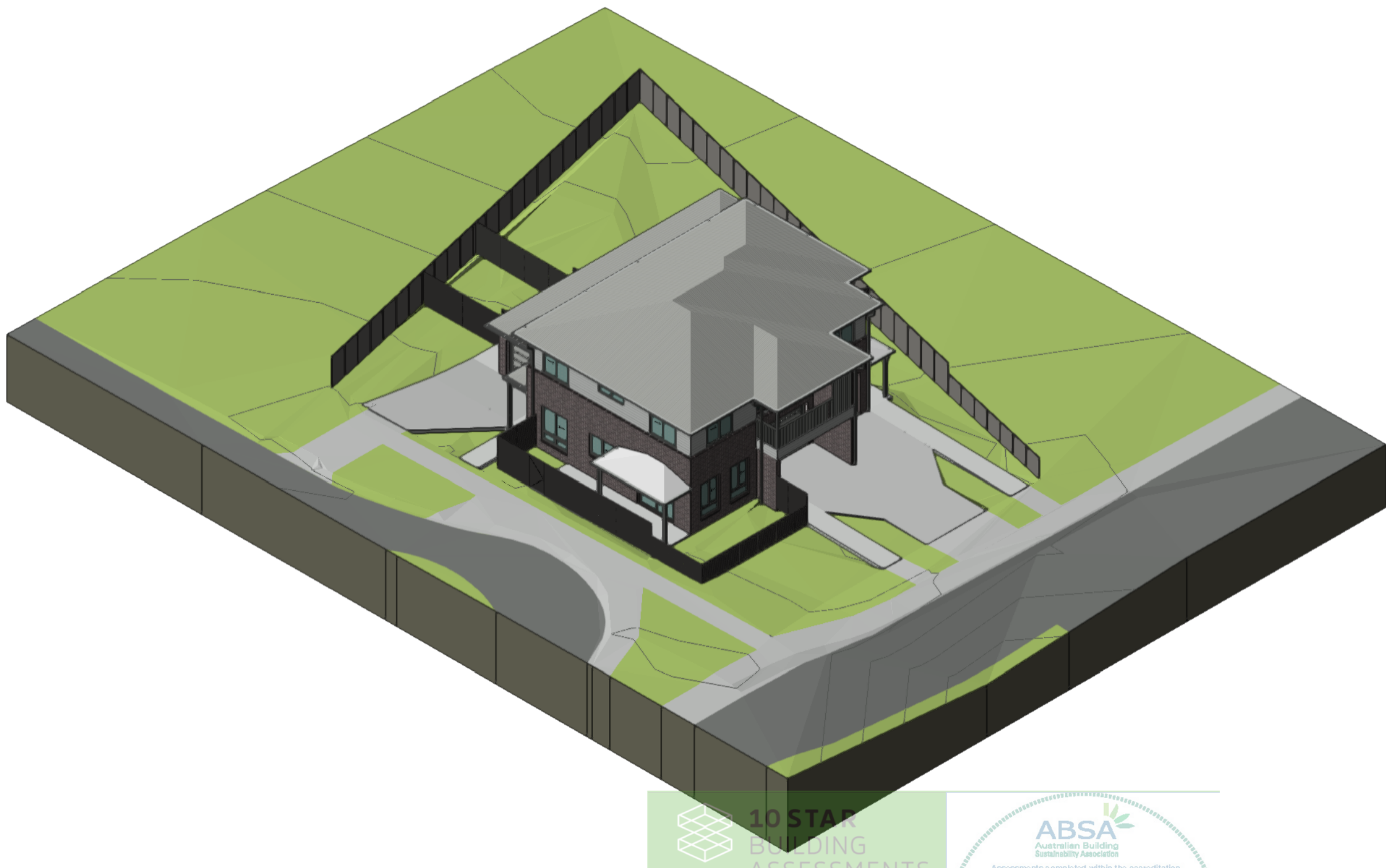
VIEW 01



VIEW 02



VIEW 03



VIEW 04

10 STAR BUILDING ASSESSMENTS

www.10star.com.au admin@10star.com M: 0481 010 999

Certificate No. #HR-52YA0P-01

Scan QR code or follow website link for rating details.

Assessor name: Adam Clarke

Accreditation No.: ABSA 101518

Property Address: 24 Thurralilly Street, QUEANBEYAN EAST, NSW, 2262

http://www.10star.com.au/dp/HR-52YA0P-01

QR Code

ABSA

Australian Building Sustainability Association

Assessments completed within the accreditation period are part of the ABSA quality audit system.

Accreditation Period: 03/09/2023-03/09/2024

Assessor Name: Adam Clarke

Assessor Number: 101518

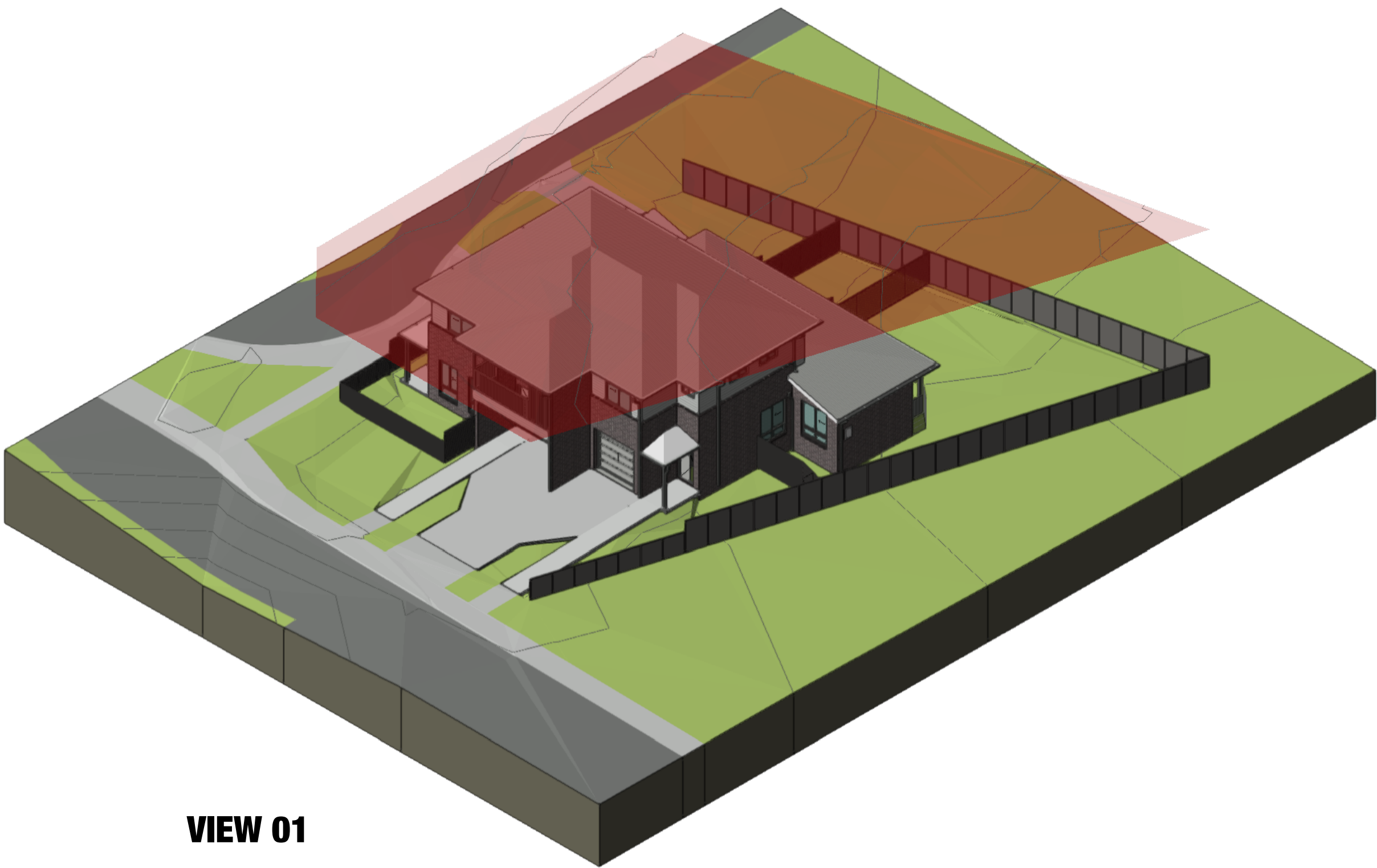
Assessor Signature: [Signature]

This Accredited Assessor is qualified to use the ABSA Accredited Certificate and Star Rating to promote the quality of their work.

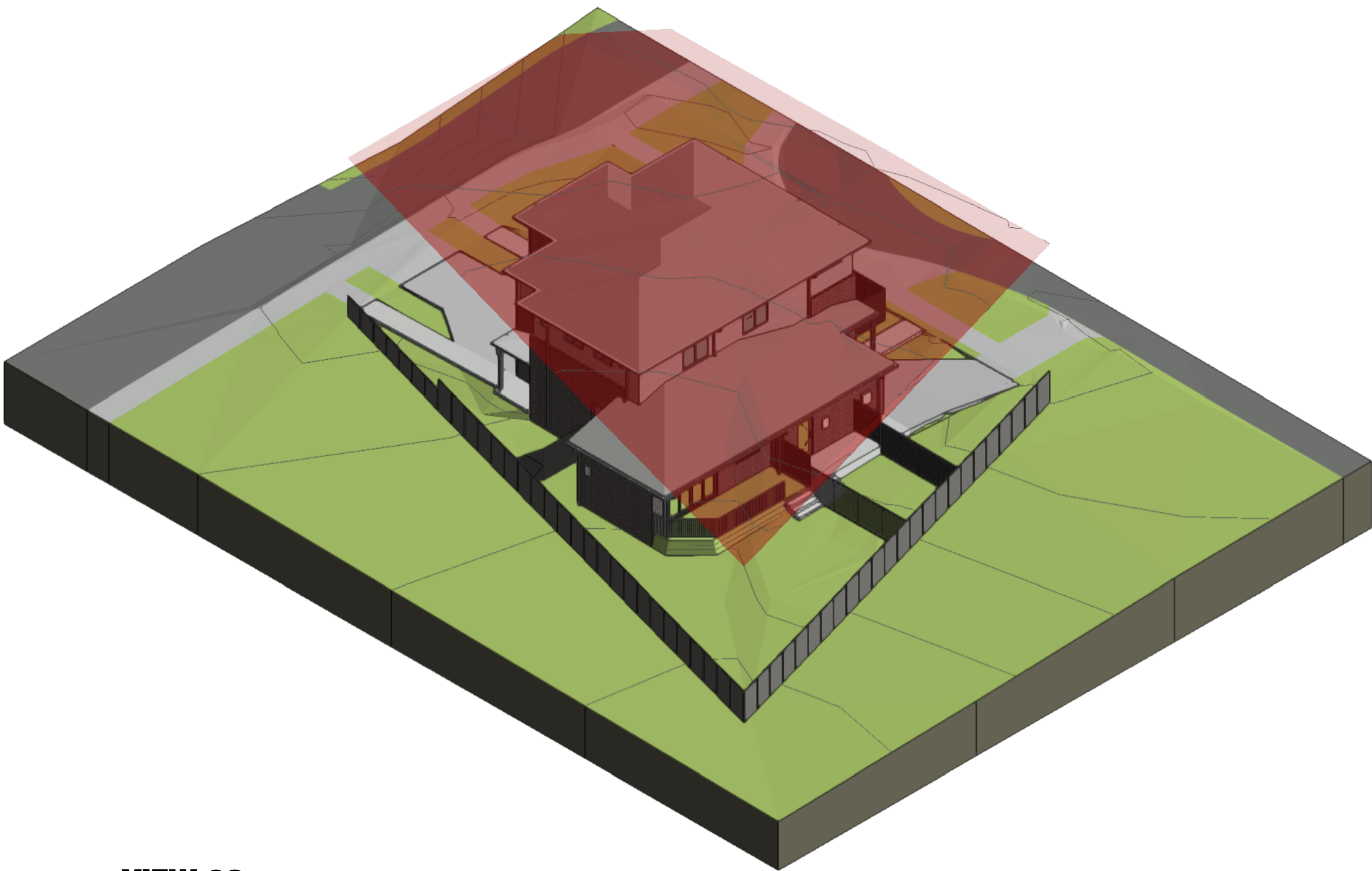
10 STAR ASSessor, NATHAN'S CERTIFICATES, SECTION 1 REPORTS, 103 ASSESSMENTS, DAYLIGHT ANALYSIS REPORT

<div><div>NSW GOVERNMENT</div></div> <div><div>Homes NSW</div></div>	NOMINATED ARCHITECT:  anthony nolan    6773					PROJECT ARCHITECT KENNEDY ASSOCIATES ARCHITECTS  PH (02) 9557 6466	ACCESS CONSULTANT VISTAACCESS ARCHITECTS	BASIX CONSULTANT 10 STAR BUILDING ASSESSMENTS  0481 010 999	PROJECT: <b>MANOR HOUSE</b> at 24 Thurralilly Street QUEANBEYAN EAST - Lot 17 DP 222494 689m2 171-/DP222494	TITLE: <b>3D VIEWS</b>  FILE: 2071 - DA 02 ELEVATION MASTER.vwx	STATUS: <b>PRELIMINARY</b>
	A REV	22/03/24 DATE	PART 5 SUBMISSION NOTATION/AMENDMENT	PROJECT MANAGER HOMES NSW	ARBORIST CONSULTANT TREE WORKS 1800 873 343	SERVICES CONSULTANT MARLINE BUILDING SERVICES ENGINEERS 02 4902 9000					
	DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.										

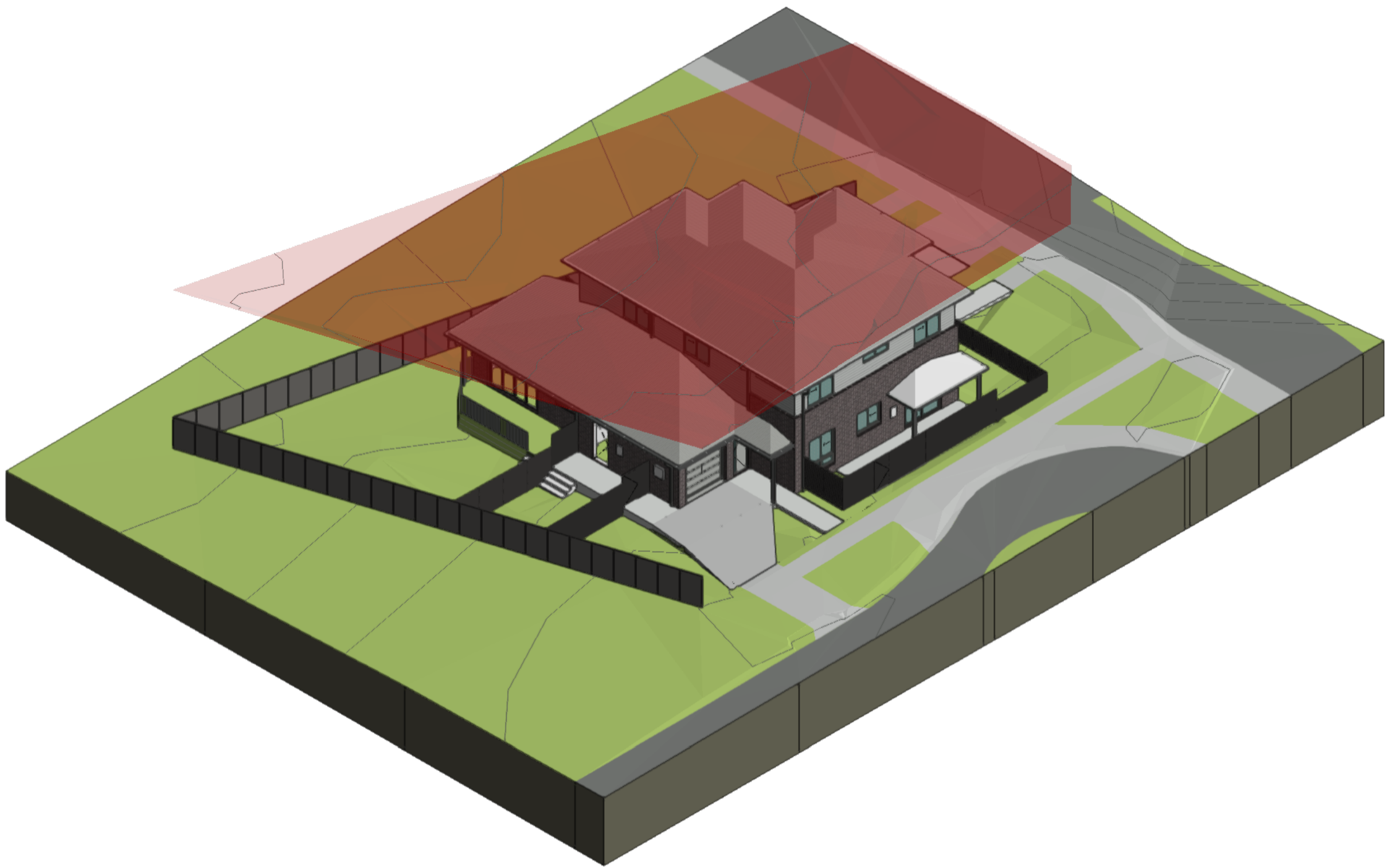




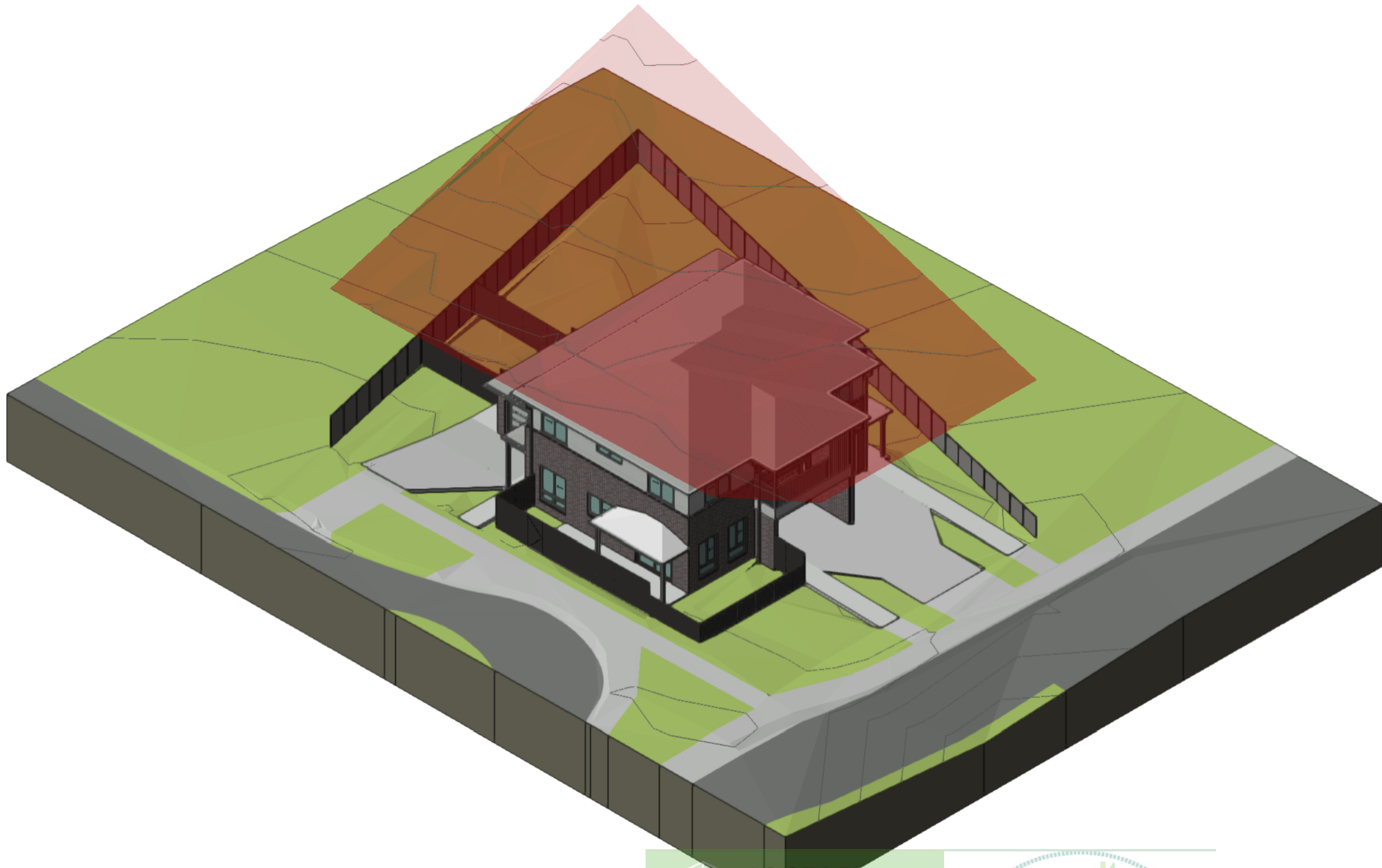
VIEW 01



VIEW 02



VIEW 03



VIEW 04

10 STAR  
BUILDING  
ASSESSMENTS

www.10star.com.au admin@10star.com M: 0481 010 999

Certificate No. #HR-52YA0P-01

Scan QR code or follow website link for rating details.

Assessor name: Adam Clarke  
Accreditation No.: ABSA 101518  
Property Address: 24 Thurralilly Street, QUEANBEYAN EAST, NSW, 2224  
http://www.10star.com.au/qr/HR-52YA0P-01

ABSA  
Australian Building Sustainability Association

Assessments completed within the accreditation period are part of the ABSA quality audit system.

Accreditation Period: 03/09/2023-03/09/2024

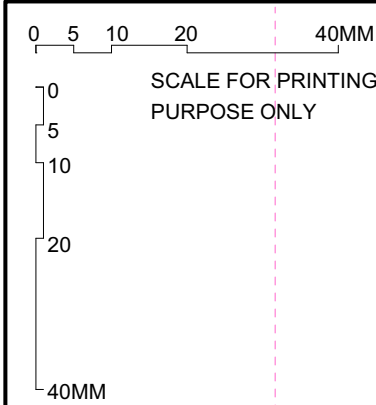
Assessor Name: Adam Clarke  
Assessment Number: 101518

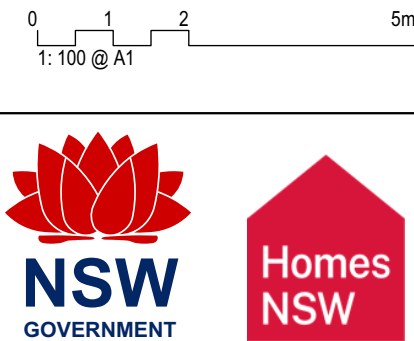
Assessor's Signature: \_\_\_\_\_

This Accredited Assessor is qualified to use the ABSA Accredited Software and has agreed to follow the ABSA Code of Practice.

BASIC ASSESSOR, NATHAN'S CERTIFICATES, SECTION 1 REPORTS, D3 ASSESSMENTS, DAYLIGHT ANALYSIS REPORT





NOMINATED ARCHITECT:  
anthony nolan 6773

A	22/03/24	PART 5 SUBMISSION
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT ARCHITECT  
KENNEDY ASSOCIATES ARCHITECTS  
PH (02) 9557 6466  
PROJECT MANAGER  
HOMES NSW

ACCESS CONSULTANT  
VISTA ACCESS ARCHITECTS  
ARBORIST  
TREE WORKS  
1800 873 343

BASIX CONSULTANT  
10 STAR BUILDING ASSESSMENTS  
0481 010 999  
SERVICES CONSULTANTS  
MARLINE BUILDING SERVICES  
ENGINEERS  
02 4602 9300

PROJECT:  
MANOR HOUSE  
at  
24 Thurralilly Street QUEANBEYAN EAST - Lot  
17 DP 222494  
689m2  
17/-DP222494

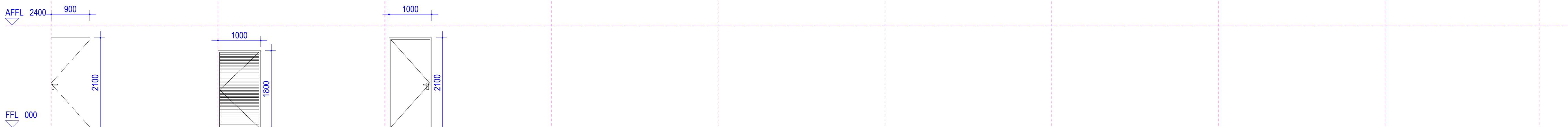
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DOOR SCHEDULE - SHEET 01

FILE:  
2071 - DA 00 MODEL MASTER.vsx

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TYPE: AR	SHEET: DA-500	REV: A	





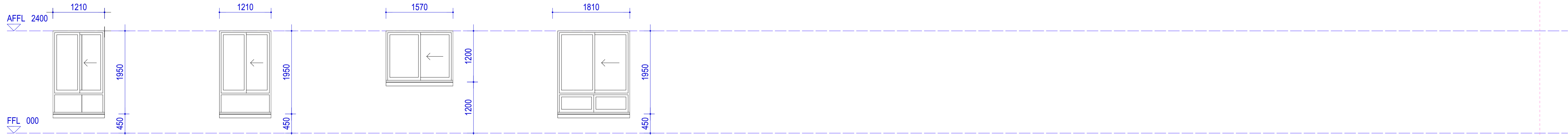
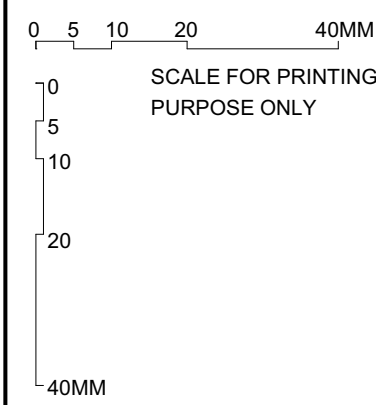


DC-D10		DC-G01		DC-D09	
Type	hinged internal solid core door	Type	hinged gate	Type	hinged internal solid core door
Frame	steel	Frame	aluminium	Frame	steel
Fr. Finish	painted	Fr. Finish	powdercoat	Fr. Finish	painted
Glass Type	N/A	Glass Type	N/A	Glass Type	N/A
Gls. Finish	N/A	Gls. Finish	N/A	Gls. Finish	N/A
Hardware	privacy set	Hardware	lockable	Hardware	passage set
Screen	N/A	Screen	N/A	Screen	N/A
U value	N/A	U value	N/A	U value	N/A
SHGC	N/A	SHGC	N/A	SHGC	N/A
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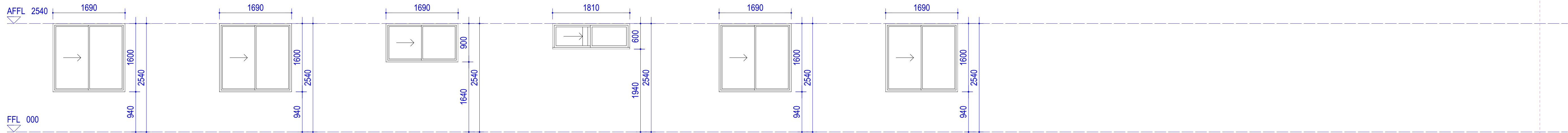


NOMINATED ARCHITECT:			PROJECT ARCHITECT KENNEDY ASSOCIATES ARCHITECTS		ACCESS CONSULTANT VISTA ACCESS ARCHITECTS		BASIX CONSULTANT 10 STAR BUILDING ASSESSMENTS		PROJECT: <b>MANOR HOUSE</b> at 24 Thurrallilly Street QUEANBEYAN EAST - Lot 17 DP 222494			TITLE: <b>DOOR SCHEDULE - SHEET 02</b>		STATUS	
anthony nolan 6773			PH (02) 9557 6466		0481 010 999										
A			22/03/24		PART 5 SUBMISSION				24 Thurrallilly Street QUEANBEYAN EAST - Lot 17 DP 222494						
REV			DATE		NOTATION/AMENDMENT				ARBORIST TREE WORKS						
									SERVICES CONSULTANTS MARLINE BUILDING SERVICES ENGINEERS						
					DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.				1800 873 343 02 4925 9300			17/-/DP222494			
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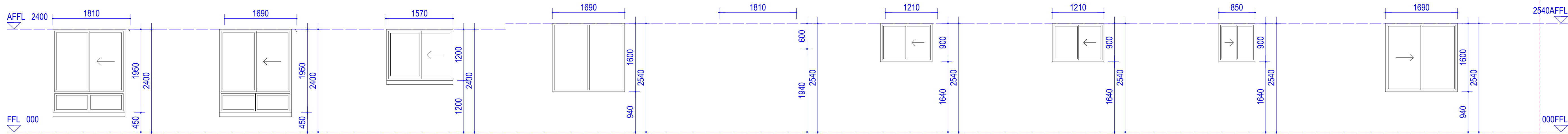




<b>DA-W01</b>	<b>Type</b> Sliding window with fixed low glass panel <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24. Siderise CWFS fire seal to be installed around frame in accordance with FER.	<b>DA-W02</b>	<b>Type</b> Sliding window with fixed low glass panel <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24. Siderise CWFS fire seal to be installed around frame in accordance with FER.	<b>DA-W03</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24. Siderise CWFS fire seal to be installed around frame in accordance with FER.	<b>DA-W04</b>	<b>Type</b> Sliding window with fixed low glass panel <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24. Siderise CWFS fire seal to be installed around frame in accordance with FER.
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<b>DB-W01</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DB-W02</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DB-W03</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DB-W04</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DB-W05</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DB-W06</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24
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<b>DC-W01</b>	<b>Type</b> Sliding window with fixed low glass panel <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24. Siderise CWFS fire seal to be installed around frame in accordance with FER.	<b>DC-W02</b>	<b>Type</b> Sliding window with fixed low glass panel <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24. Siderise CWFS fire seal to be installed around frame in accordance with FER.	<b>DC-W03</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24. Siderise CWFS fire seal to be installed around frame in accordance with FER.	<b>DC-W04</b>	<b>Type</b> Fixed window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> N/A <b>Screen</b> N/A <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DC-W06</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DC-W07</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DC-W08</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24	<b>DC-W09</b>	<b>Type</b> Sliding window <b>Frame</b> Aluminium <b>Fr. Finish</b> Powdercoated <b>Glass Type</b> Single glass <b>Gls. Finish</b> Clear glass <b>Hardware</b> Lockable <b>Screen</b> Security window flyscreen <b>U value</b> 6.7 <b>SHGC</b> 0.7 <b>Notes</b> Protection of openable windows to comply with BCA section D – ACCESS AND EGRESS / clause D2.24
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10 STAR BUILDING ASSESSMENTS

Assessment Period: 03/09/2023-03/09/2024

Assessor Name: Adam Clarke

Assessment Number: 101518

Assessor Signature: [Signature]

Assessment Date: 03/09/2023

Assessment Location: 24 Thurrailly Street QUEANBEYAN EAST - Lot 17 DP 222494

Assessment Type: 10 STAR BUILDING ASSESSMENTS

Assessment Status: 10 STAR BUILDING ASSESSMENTS

Assessment Details: 10 STAR BUILDING ASSESSMENTS

Assessment Notes: 10 STAR BUILDING ASSESSMENTS

ABSQA

Assessment Period: 03/09/2023-03/09/2024

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Assessment Details: 10 STAR BUILDING ASSESSMENTS

Assessment Notes: 10 STAR BUILDING ASSESSMENTS



NOMINATED ARCHITECT:  
anthony nolan 6773

A	22/03/24	PART 5 SUBMISSION
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT ARCHITECT  
KENNEDY ASSOCIATES ARCHITECTS  
PH (02) 9557 6466  
PROJECT MANAGER  
HOMES NSW

ACCESS CONSULTANT  
VISTA ACCESS ARCHITECTS  
ARBORIST  
TREE WORKS  
1800 873 343

SERVICES CONSULTANTS  
MARLINE BUILDING SERVICES  
ENGINEERS  
102 4602 9300

PROJECT:  
**MANOR HOUSE**  
at  
24 Thurrailly Street QUEANBEYAN EAST - Lot 17 DP 222494  
689m2  
17/-DP222494

TITLE:  
**WINDOW SCHEDULE - SHEET 01**

FILE:  
2071 - DA 00 MODEL MASTER.vwx

STATUS:	SCALE: 1:50@A1	PROJ: BGWQ3	PROJECT No: BGWQ3
STAGE: SE	DRAWN: SE	CHECKED: AN	APPROVED: AN
TYPE: AR	SHEET: DA-510	REV: A	